

PROPOSAL FOR FIVE-STOREY APARTMENT AT 718-724 HIGH STREET, GLEN WAVERLEY

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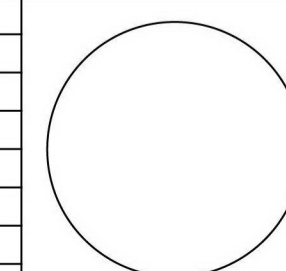
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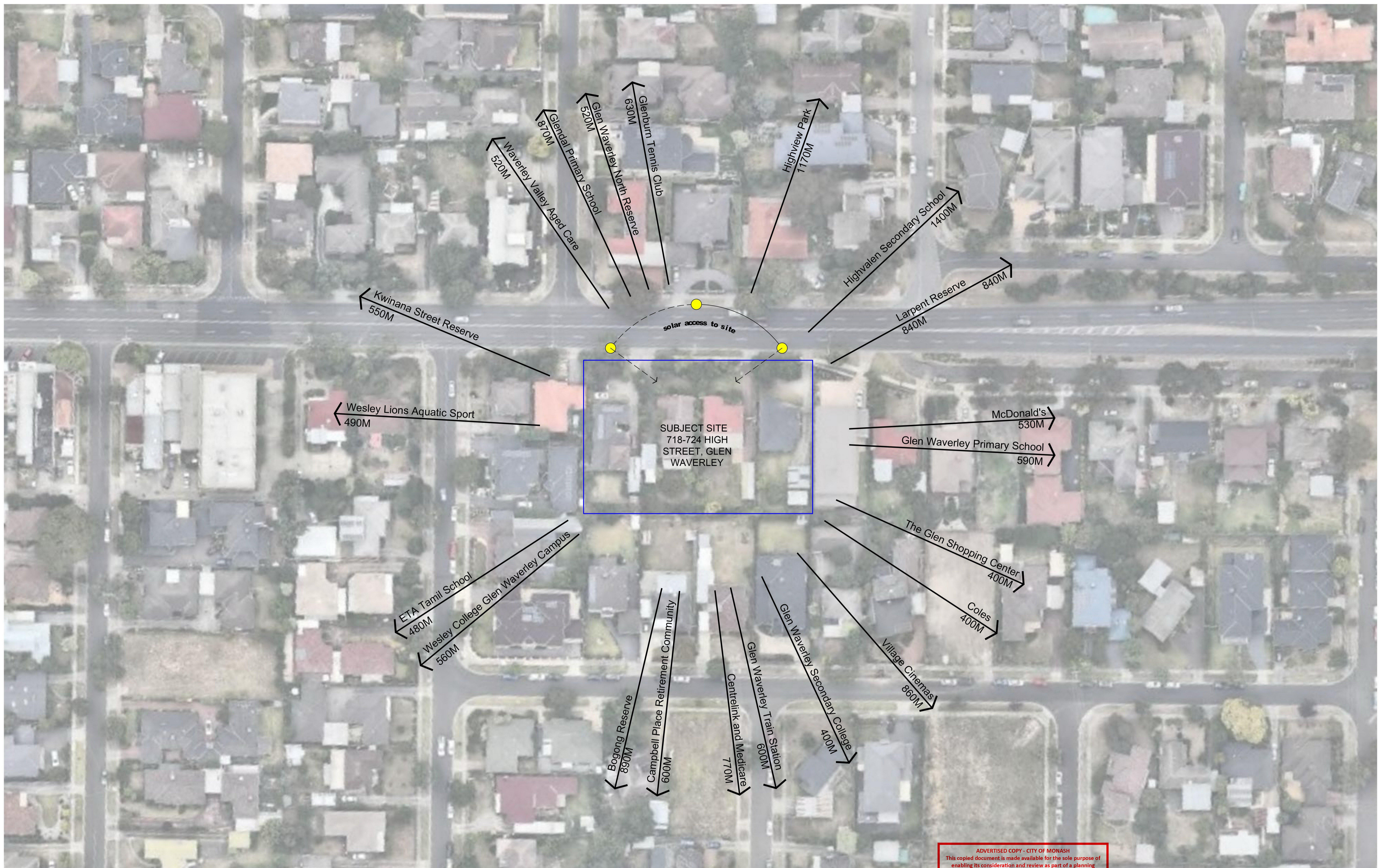


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Project	Date	Rev	Description
718-724 High Street Road, Glen Waverley	2021.12.16	A	RFI
	2022.03.02	B	RFI, Rooftop and substation updated
Drawing			
COVER SHEET			



Project Number		Drawing Number	
21-006		TP00	
Date	Scale	Amendment	
02-03-2022			
Drawn	Checked		
ET	AL / JW		



LOCATION PLAN
SCALE 1:500 @ A1

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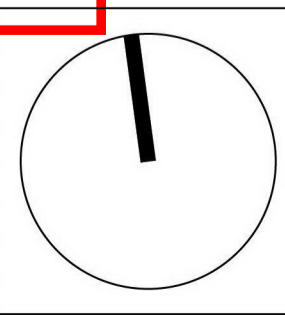
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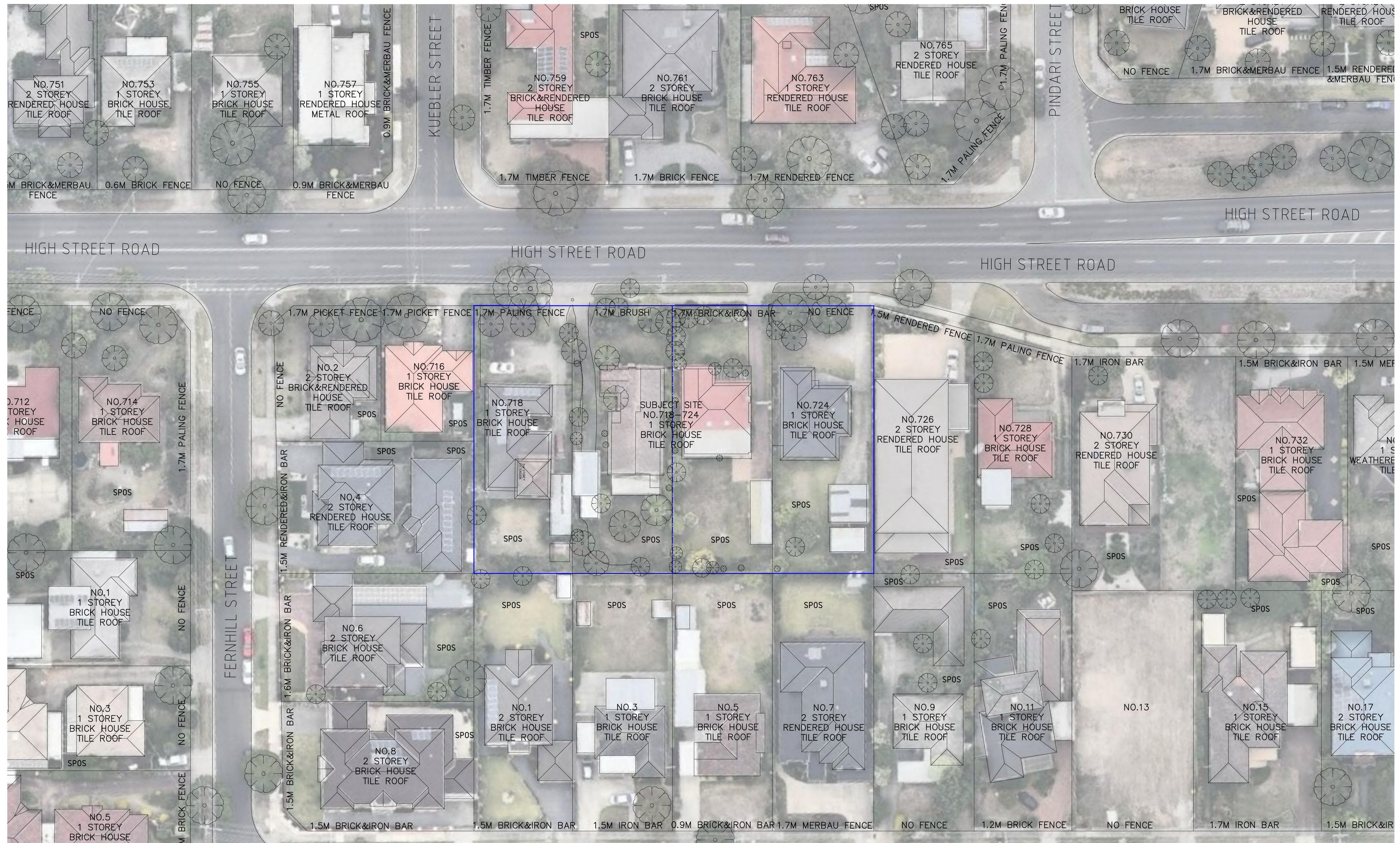
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Project	718-724 High Street Road, Glen Waverley
Drawing	LOCATION PLAN

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated



Project Number	21-006		Drawing Number	TP01
Date	02-03-2022	Scale	1:500	Amendment
Drawn	ET	Checked	AL/JW	



NEIGHBORHOOD CHARACTER
SCALE 1:300 @ A1

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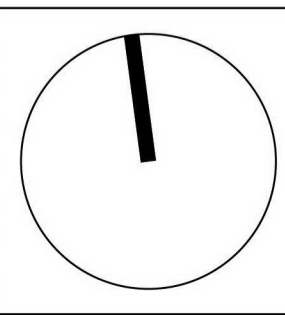
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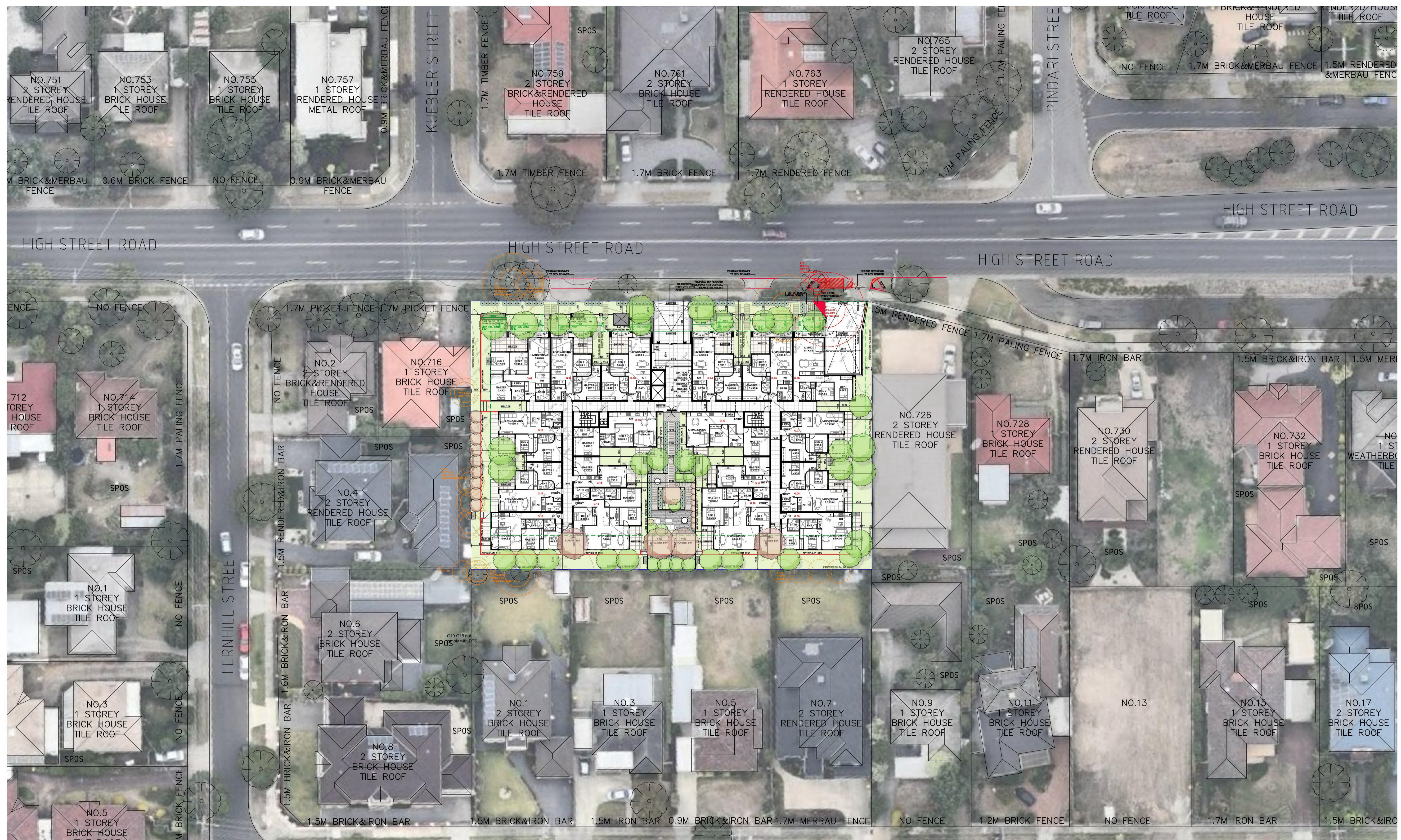
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Project	718-724 High Street Road, Glen Waverley
Drawing	NEIGHBORHOOD CHARACTER

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated



Project Number	21-006		Drawing Number	TP02
Date	02-03-2022	Scale	1:300	Amendment
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DESIGN RESPONSE
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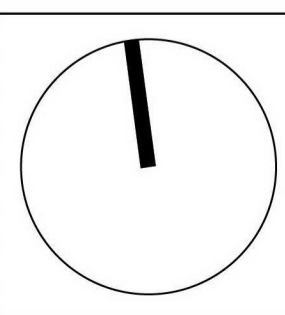
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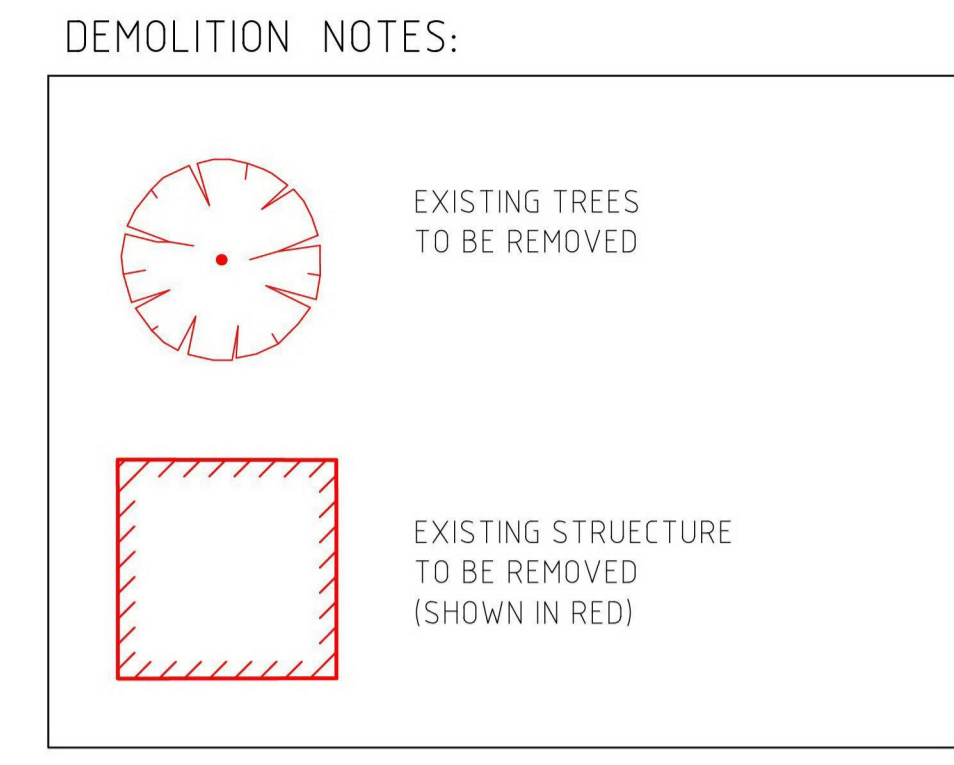
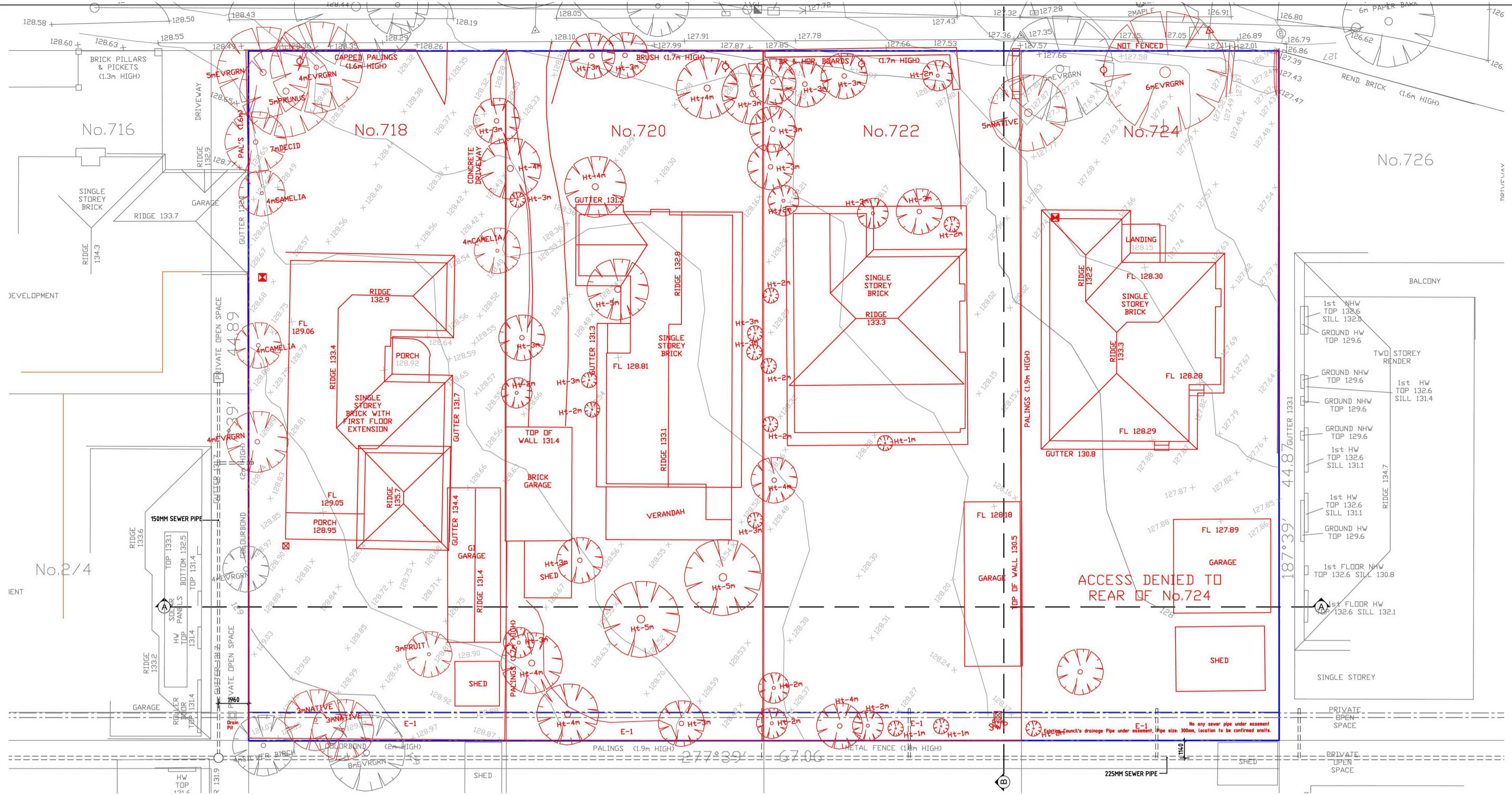
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Project	718-724 High Street Road, Glen Waverley
Drawing	DESIGN RESPONSE

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI, Rooftop and substation updated

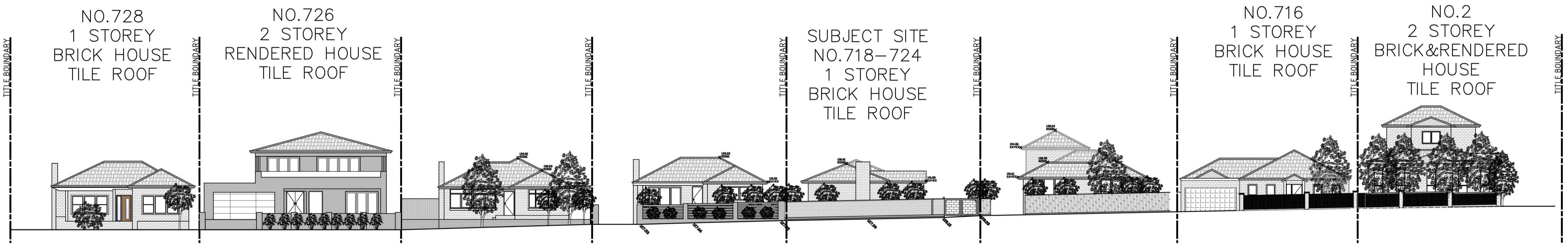


Project Number	21-006			Drawing Number	TP03
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DEMOLITION PLAN
SCALE 1:200 @ A1



EXISTING STREETScape
SCALE 1:200 @ A1



PROPOSED STREETScape
SCALE 1:200 @ A1

Notes

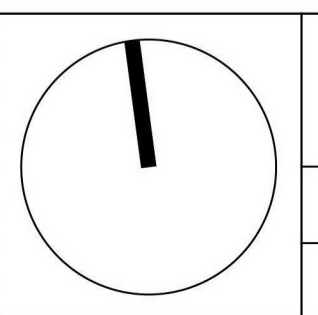
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Project	718-724 High Street Road, Glen Waverley
Drawing	DEMOLITION PLAN & STREETSCAPES

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated



Project Number	21-006			Drawing Number	TP04
Date	02-03-2022	Scale	1:200	Amendment	
Drawn	ET	Checked	AL/JW		

Site Area:	3009.8m ²
Site Coverage:	1835.9m ² (60.9%)
Permeable Area:	678.9m ² (22.5%)
Deep Soil Area:	514.2m ² (17.1%)

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	Floor Area (exclude balcony)
Lower Basement	2049.9m ²
Upper Basement	2049.9m ²
Ground Floor	1628.3m ²
First Floor	1613.3m ²
Second Floor	1327.4m ²
Third Floor	1243.8m ²
Fourth Floor	775.1m ²
Roof top	45.5m ²
Roof Deck	347.0m ²
GF Court Yard	156.7m ²

4 bed	2
3 bed	15
2 bed	47
1 bed	5
Total Units	69
Car space	86

Ground Floor

	Building Area	SPOS>3m	Total Storage Volume /Internal Storage Volume	NO. of Bed	NO. of Bath	NO. of Car Space
G.01	94.1m ²	58.8m ²	25.2m ² /17.1m ²	3	2	2
G.02	75.7m ²	40.1m ²	18.2m ² /12.9m ²	2	2	1
G.03	75.7m ²	35.1m ²	18.2m ² /12.9m ²	2	2	1
G.04	75.7m ²	39.6m ²	18.2m ² /12.9m ²	2	2	1
G.05	75.7m ²	42.3m ²	18.2m ² /12.9m ²	2	2	1
G.06	79.5m ²	18.6m ²	17.4m ² /12.1m ²	2	1	1
G.07	75.7m ²	50.4m ²	17.8m ² /12.5m ²	2	2	1
G.08	75.7m ²	50.4m ²	19.1m ² /12.5m ²	2	2	1
G.09	76.5m ²	69.0m ²	19.2m ² /12.6m ²	2	2	1
G.10	102.7m ²	57.6m ²	23.8m ² /15.9m ²	3	2	2
G.11	46.9m ²	18.3m ²	11.1m ² /6.6m ²	1	1	1
G.12	80.8m ²	11.4m ²	21.7m ² /15.1m ²	2	2	1
G.13	76.6m ²	11.4m ²	21.5m ² /15.5m ²	2	2	1
G.14	46.9m ²	18.3m ²	12.6m ² /6.6m ²	1	1	1
G.15	102.7m ²	57.6m ²	23.8m ² /15.9m ²	3	2	2
G.16	76.5m ²	67.5m ²	18.6m ² /12.6m ²	2	2	1
G.17	75.7m ²	50.4m ²	18.5m ² /12.5m ²	2	2	1
G.18	75.7m ²	50.4m ²	18.1m ² /12.5m ²	2	2	1

First Floor

	Building Area	Total Balcony Area /Min Depth Area	Total Storage Volume /Internal Storage Volume	NO. of Bed	NO. of Bath	NO. of Car Space
1.01	94.1m ²	18.4m ² /16.4m ²	24.2m ² /17.2m ²	3	2	2
1.02	75.7m ²	11.6m ² /9.7m ²	18.9m ² /12.9m ²	2	2	1
1.03	75.7m ²	11.6m ² /9.7m ²	18.9m ² /12.9m ²	2	2	1
1.04	75.7m ²	11.6m ² /9.7m ²	18.9m ² /12.9m ²	2	2	1
1.05	75.7m ²	11.6m ² /9.7m ²	18.9m ² /12.9m ²	2	2	1
1.06	94.1m ²	18.4m ² /16.4m ²	24.2m ² /17.2m ²	3	2	2
1.07	75.7m ²	8.7m ²	18.8m ² /12.8m ²	2	2	1
1.08	75.7m ²	8.7m ²	18.8m ² /12.8m ²	2	2	1
1.09	60.3m ²	8.1m ²	16.6m ² /10.6m ²	2	1	1
1.10	98.8m ²	12.0m ²	21.8m ² /15.8m ²	3	2	2
1.11	44.6m ²	8.0m ²	12.6m ² /6.6m ²	1	1	1
1.12	80.8m ²	12.0m ²	21.2m ² /15.2m ²	2	2	1
1.13	76.6m ²	12.0m ²	21.7m ² /15.7m ²	2	2	1
1.14	44.6m ²	8.0m ²	12.6m ² /6.6m ²	1	1	1
1.15	98.8m ²	12.0m ²	21.8m ² /15.8m ²	3	2	2
1.16	60.2m ²	8.1m ²	16.6m ² /10.6m ²	2	1	1
1.17	75.7m ²	8.7m ²	18.8m ² /12.8m ²	2	2	1
1.18	75.7m ²	8.7m ²	18.8m ² /12.8m ²	2	2	1

Second Floor

	Building Area	Total Balcony Area /Min Depth Area	Total Storage Volume /Internal Storage Volume	NO. of Bed	NO. of Bath	NO. of Car Space
2.01	66.9m ²	9.7m ²	16.3m ² /10.7m ²	2	1	1
2.02	65.9m ²	8.1m ²	23.1m ² /11.4m ²	2	1	1
2.03	73.9m ²	8.2m ²	25.3m ² /13.6m ²	2	2	1
2.04	73.9m ²	8.2m ²	24.8m ² /13.6m ²	2	2	1
2.05	65.9m ²	8.1m ²	23.1m ² /11.4m ²	2	1	1
2.06	62.2m ²	8.1m ²	26.8m ² /15.1m ²	2	1	1
2.07	71.1m ²	8.3m ²	23.4m ² /10.8m ²	2	1	1
2.08	88.2m ²	12.0m ²	25.7m ² /19.4m ²	3	2	2
2.09	105.9m ²	15.4m ²	35.4m ² /25.8m ²	3	2	2
2.10	80.8m ²	12.0m ²	20.9m ² /15.3m ²	2	2	1
2.11	75.5m ²	12.0m ²	20.9m ² /15.3m ²	2	2	1
2.12	87.6m ²	10.1m ²	23.5m ² /17.5m ²	2	2	1
2.13	61.5m ²	8.0m ²	16.5m ² /10.5m ²	2	1	1
2.14	80.3m ²	8.7m ²	19.3m ² /13.3m ²	2	2	1
2.15	75.7m ²	8.7m ²	18.5m ² /12.5m ²	2	2	1

Third Floor

	Building Area	Total Balcony Area /Min Depth Area	Total Storage Volume /Internal Storage Volume	NO. of Bed	NO. of Bath	NO. of Car Space
3.01	113.0m ²	12.1m ²	25.6m ² /18.7m ²	4	2	2
3.02	73.9m ²	8.2m ²	19.3m ² /12.7m ²	2	2	1
3.03	73.9m ²	8.2m ²	18.4m ² /12.7m ²	2	2	1
3.04	115.5m ²	21.0m ²	33.5m ² /26.6m ²	3	2	2
3.05	59.1m ²	8.0m ²	17.6m ² /11.9m ²	1	1	1
3.06	73.5m ²	10.9m ²	19.3m ² /13.6m ²	2	2	1
3.07	105.9m ²	15.4m ²	32.7m ² /25.8m ²	3	2	2
3.08	80.8m ²	12.0m ²	30.1m ² /20.7m ²	2	2	1
3.09	76.6m ²	12.0m ²	21.9m ² /15.6m ²	2	2	1
3.10	87.6m ²	10.1m ²	23.8m ² /17.5m ²	2	2	1
3.11	126.5m ²	25.1m ²	35.2m ² /26.7m ²	4	3	2
3.12	66.8m ²	16.6m ²	18.1m ² /12.1m ²	2	1	1

Fouth Floor

	Building Area	Total Balcony Area /Min Depth Area	Total Storage Volume /Internal Storage Volume	NO. of Bed	NO. of Bath	NO. of Car Space
4.01	130.2m ²	27.9m ²	30.3m ² /22.2m ²	3	2	2
4.02	128.5m ²	31.4m ²	30.0m ² /21.9m ²	3	3	2
4.03	106.1m ²	13.8m ²	27.9m ² /21.9m ²	3	2	2
4.04	80.8m ²	12.0m ²	21.6m ² /15.6m ²	2	2	1
4.05	76.6m ²	12.0m ²	21.8m ² /15.8m ²	2	2	1
4.06	110.7m ²	14.8m ²	26.8m ² /20.8m ²	3	2	2

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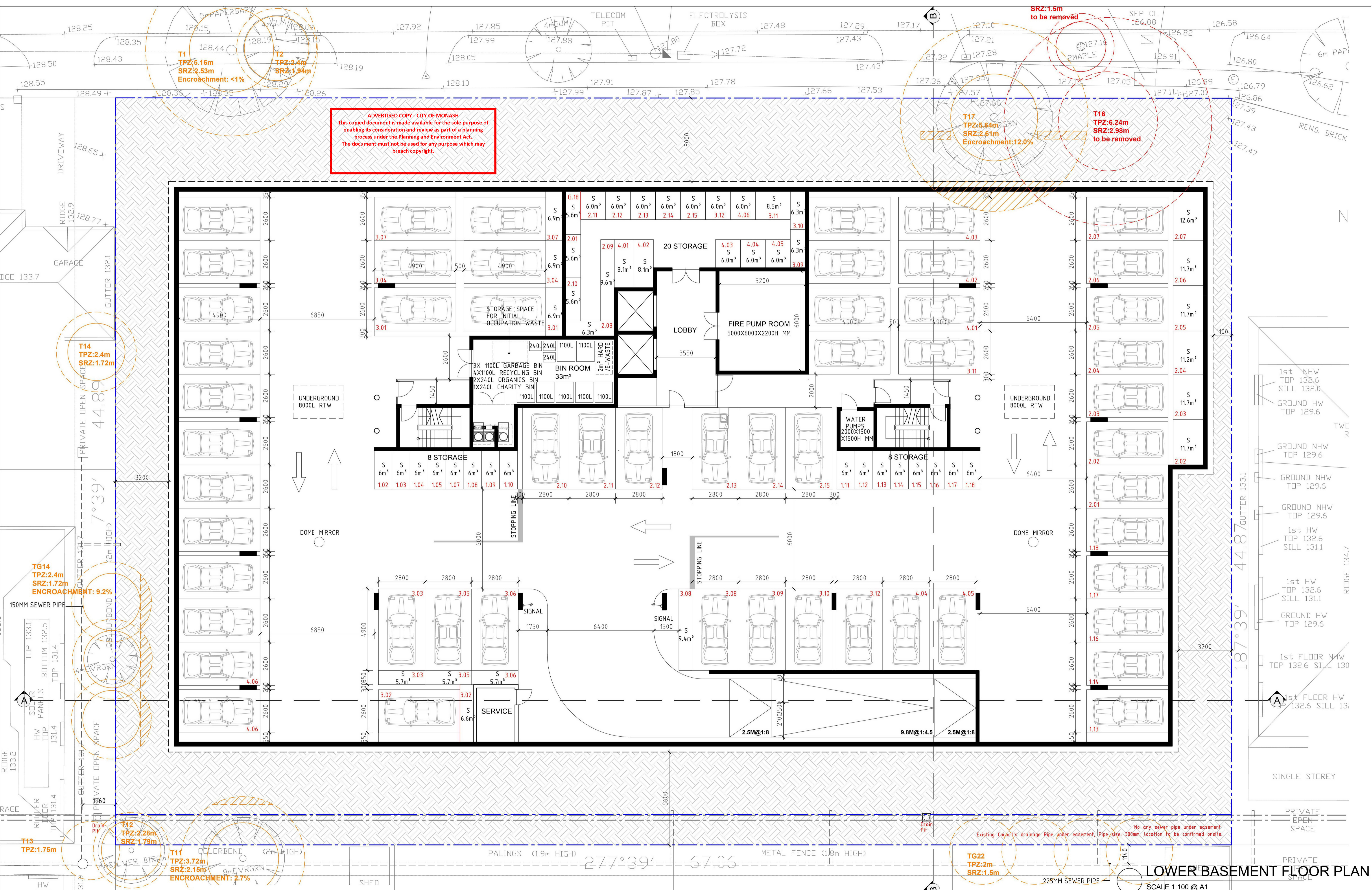
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Project
 718-724 High Street Road, Glen Waverley

Drawing
 AREA SCHEDULE

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated

	Project Number 21-006		Drawing Number TP05
	Date 02-03-2022	Scale	Amendment
	Drawn ET	Checked AL/JW	



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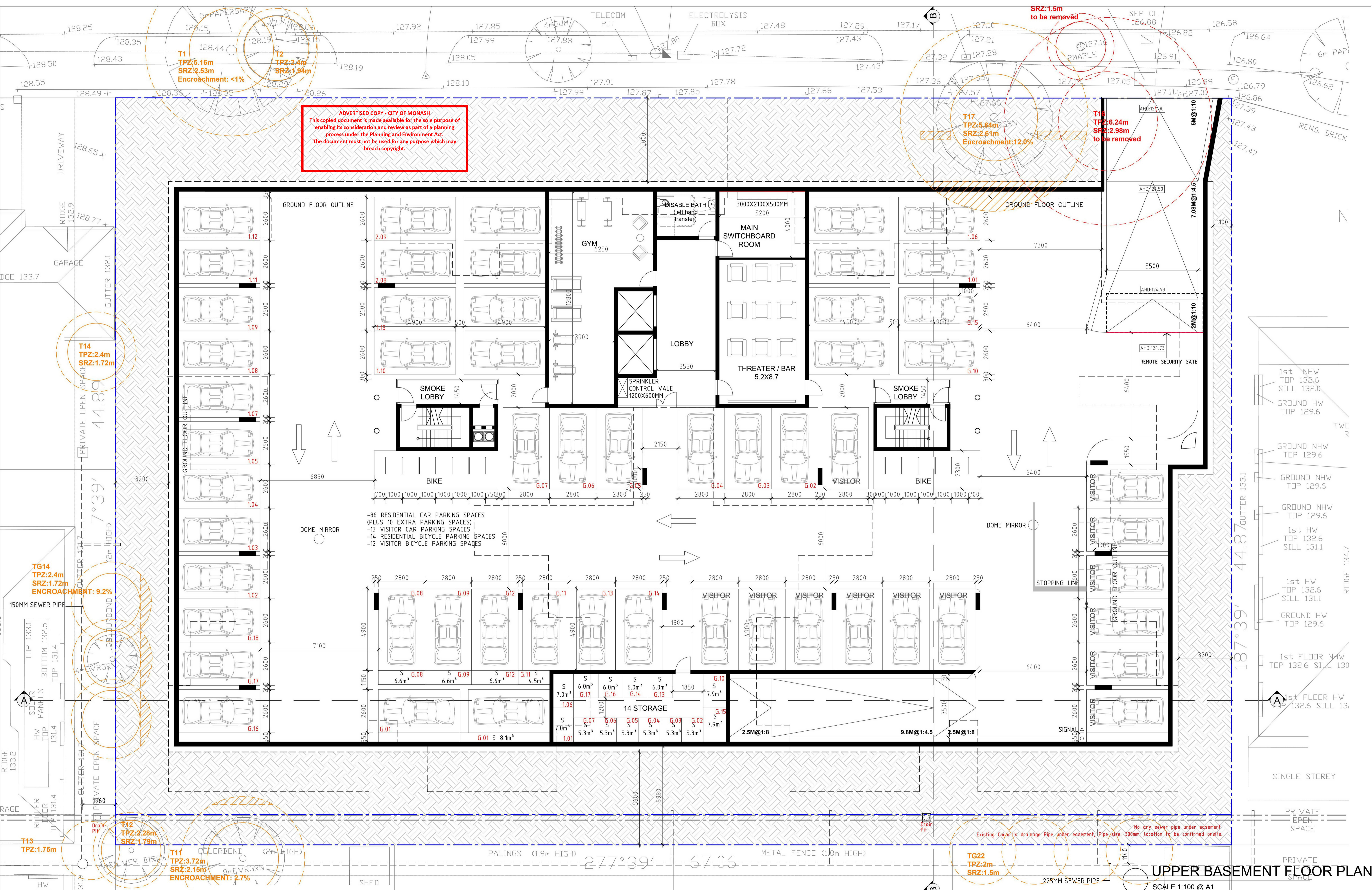
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Project	718-724 High Street Road, Glen Waverley
Drawing	LOWER BASEMENT FLOOR PLAN

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated

Project Number	21-006	Drawing Number	TP06
Date	02-03-2022	Scale	1:100
Drawn	ET	Checked	AL/JW
Amendment			

LOWER BASEMENT FLOOR PLAN
 SCALE 1:100 @ A1



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- 86 RESIDENTIAL CAR PARKING SPACES (PLUS 10 EXTRA PARKING SPACES)
- 13 VISITOR CAR PARKING SPACES
- 14 RESIDENTIAL BICYCLE PARKING SPACES
- 12 VISITOR BICYCLE PARKING SPACES

UPPER BASEMENT FLOOR PLAN
 SCALE 1:100 @ A1

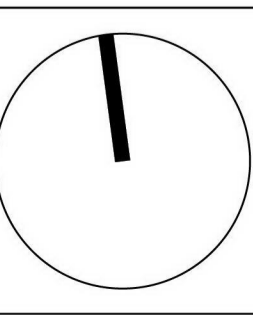
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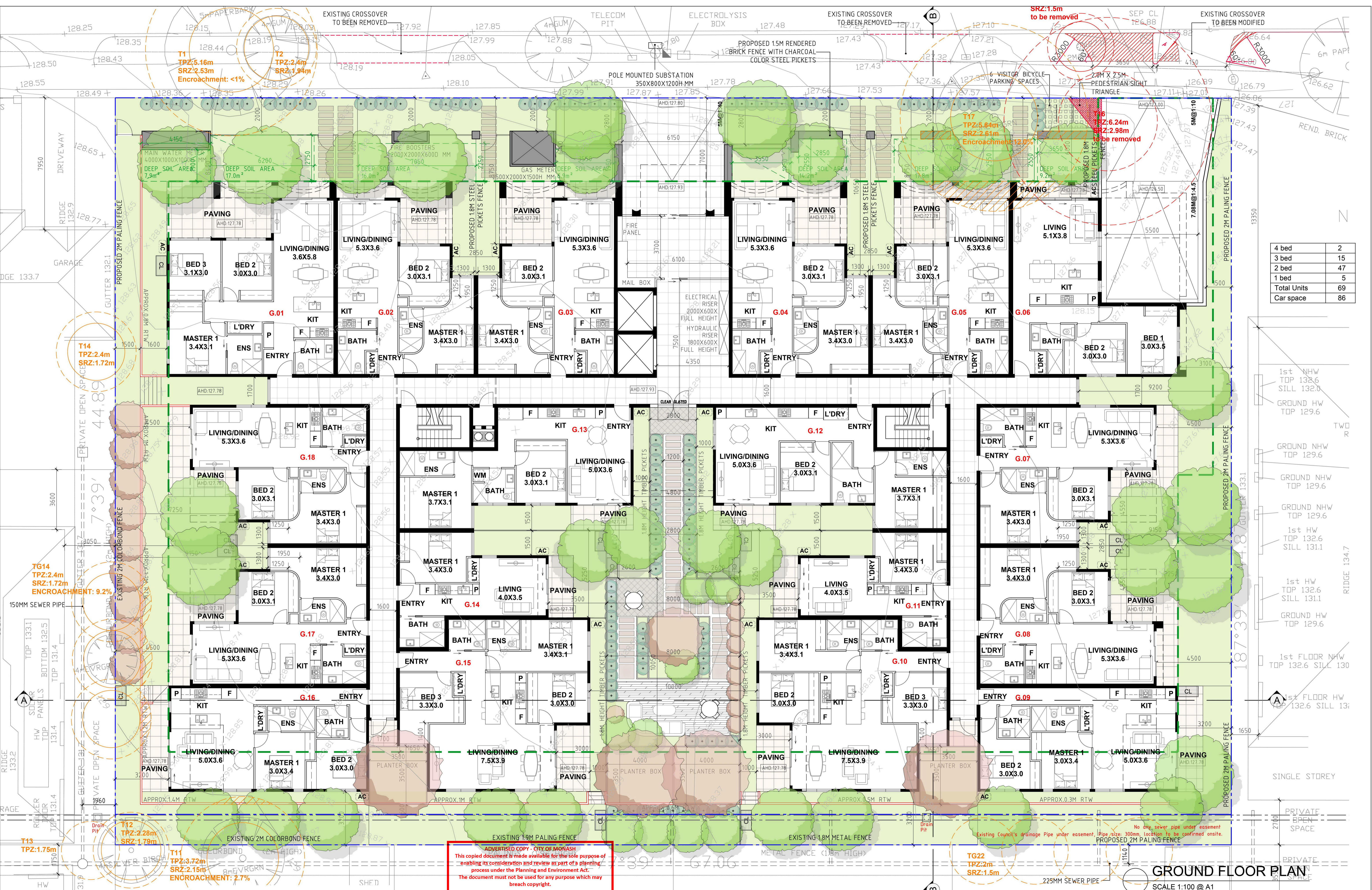
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 Ph: (03) 9817 6788
 Email: info@esseantarchitects.com.au
 www.jesseantarchitects.com.au
 ABN: 29 469 352 797

Project	718-724 High Street Road, Glen Waverley
Drawing	UPPER BASEMENT FLOOR PLAN

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated



Project Number	21-006	Drawing Number	TP07
Date	02-03-2022	Scale	1:100
Drawn	ET	Checked	AL/JW
		Amendment	



4 bed	2
3 bed	15
2 bed	47
1 bed	5
Total Units	69
Car space	86

1st NHW TOP 132.6	SILL 132.0
GROUND HW TOP 129.6	
GROUND NHW TOP 129.6	
GROUND NHW TOP 129.6	
GROUND NHW TOP 129.6	
1st HW TOP 132.6	SILL 131.1
1st HW TOP 132.6	SILL 131.1
GROUND HW TOP 129.6	
1st FLOOR NHW TOP 132.6	SILL 130
1st FLOOR HW TOP 132.6	SILL 130

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GROUND FLOOR PLAN
 SCALE 1:100 @ A1

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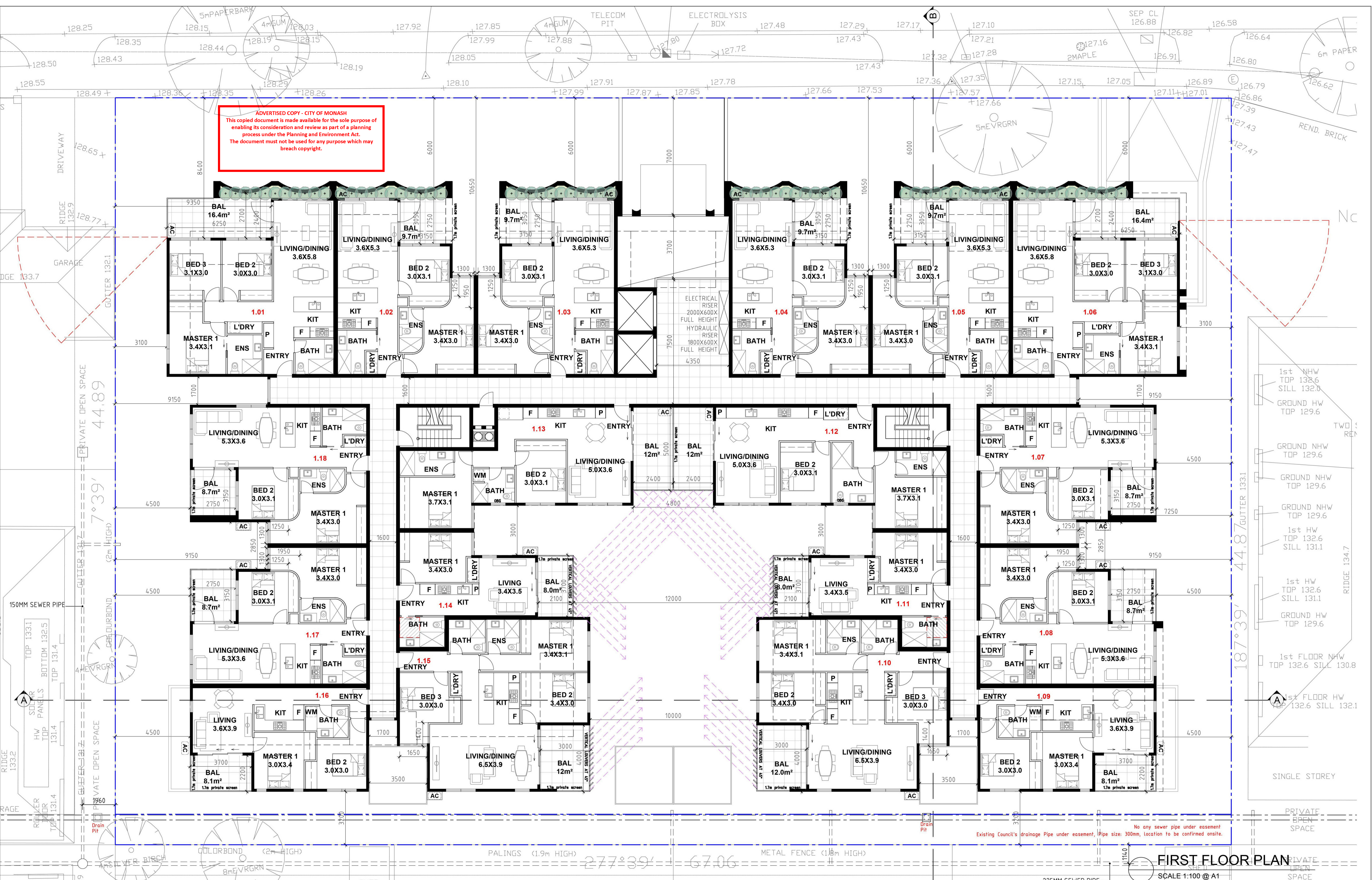


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Project	718-724 High Street Road, Glen Waverley
Date	2021.12.16
Rev	A
Description	RFI
Date	2022.03.02
Rev	B
Description	RFI - Rooftop and substation updated
Drawing	GROUND FLOOR PLAN

Project Number	21-006	Drawing Number	TP08
Date	02-03-2022	Scale	1:100
Drawn	ET	Checked	AL/JW
		Amendment	

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FIRST FLOOR PLAN

SCALE 1:100 @ A1

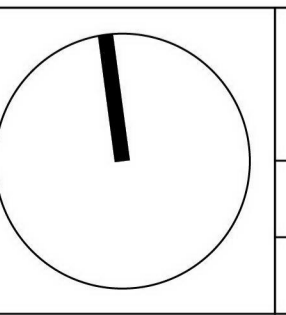
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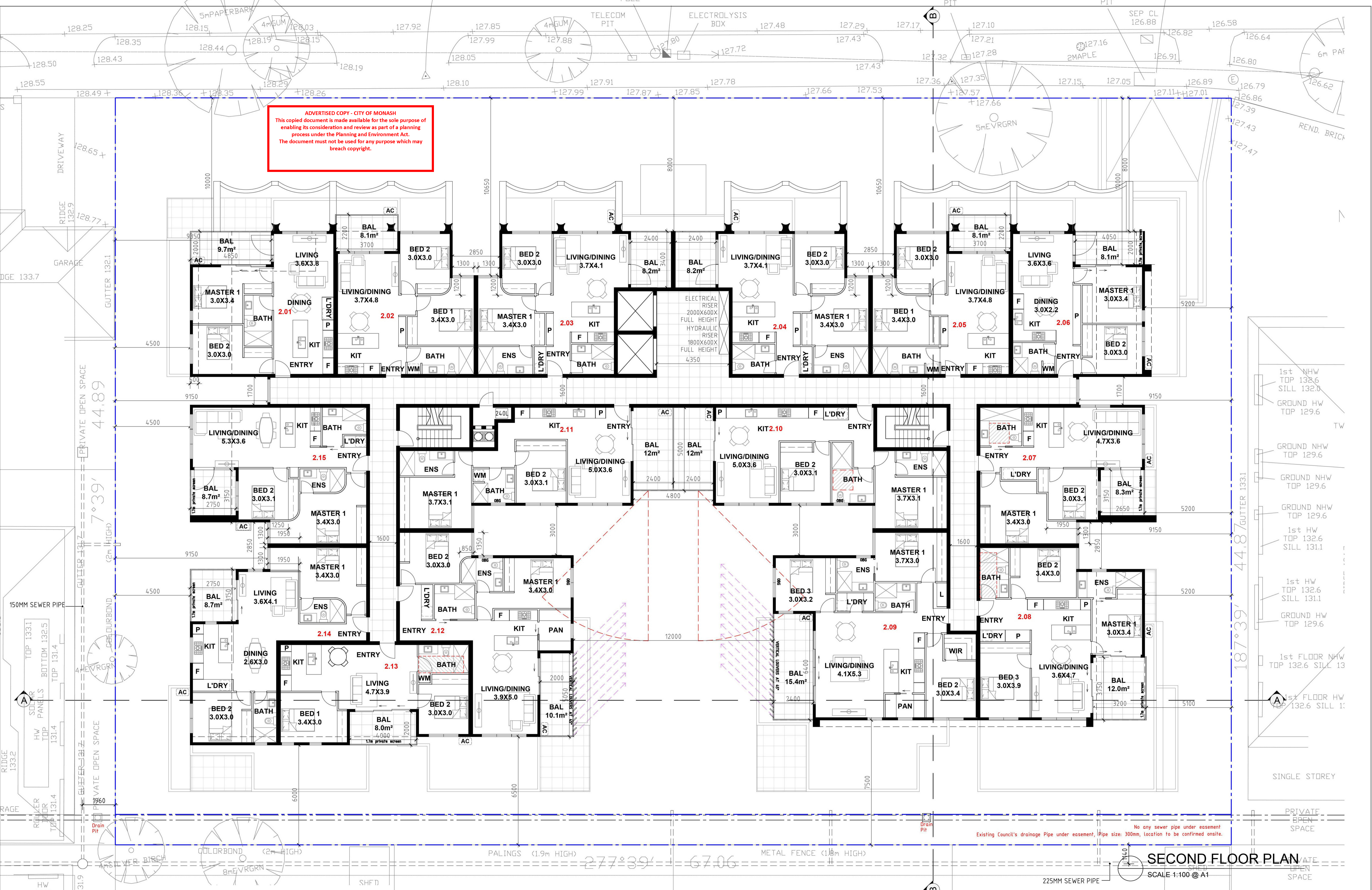
Project	718-724 High Street Road, Glen Waverley
Drawing	FIRST FLOOR PLAN

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated



Project Number	21-006	Drawing Number	TP09
Date	02-03-2022	Scale	1:100
Drawn	ET	Checked	AL/JW
		Amendment	

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SECOND FLOOR PLAN
SCALE 1:100 @ A1

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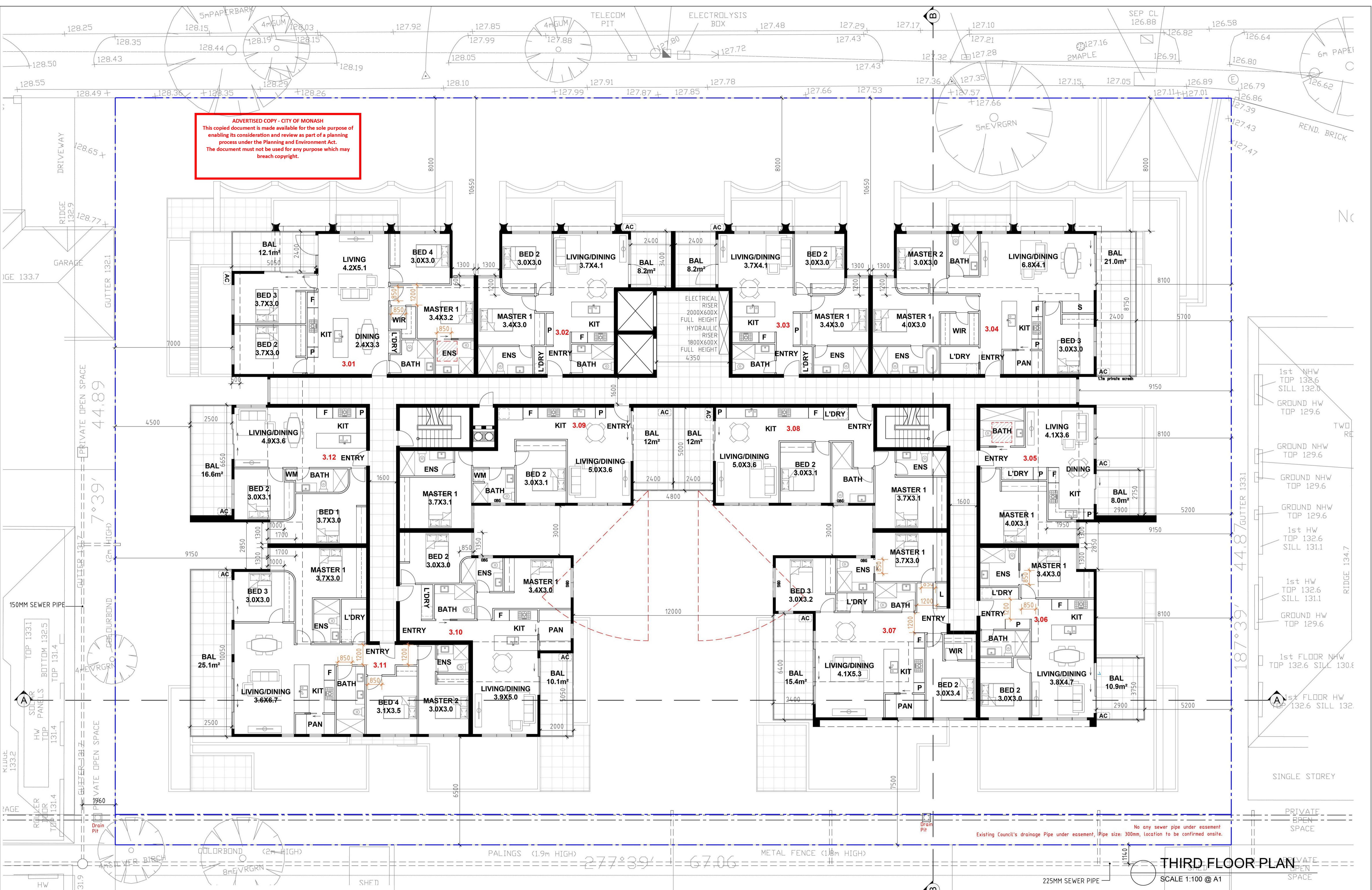
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 ABN: 29 469 352 797

Project	718-724 High Street Road, Glen Waverley
Drawing	SECOND FLOOR PLAN

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated

Project Number	21-006	Drawing Number	TP10
Date	02-03-2022	Scale	1:100
Drawn	ET	Checked	AL/JW
		Amendment	

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THIRD FLOOR PLAN

SCALE 1:100 @ A1

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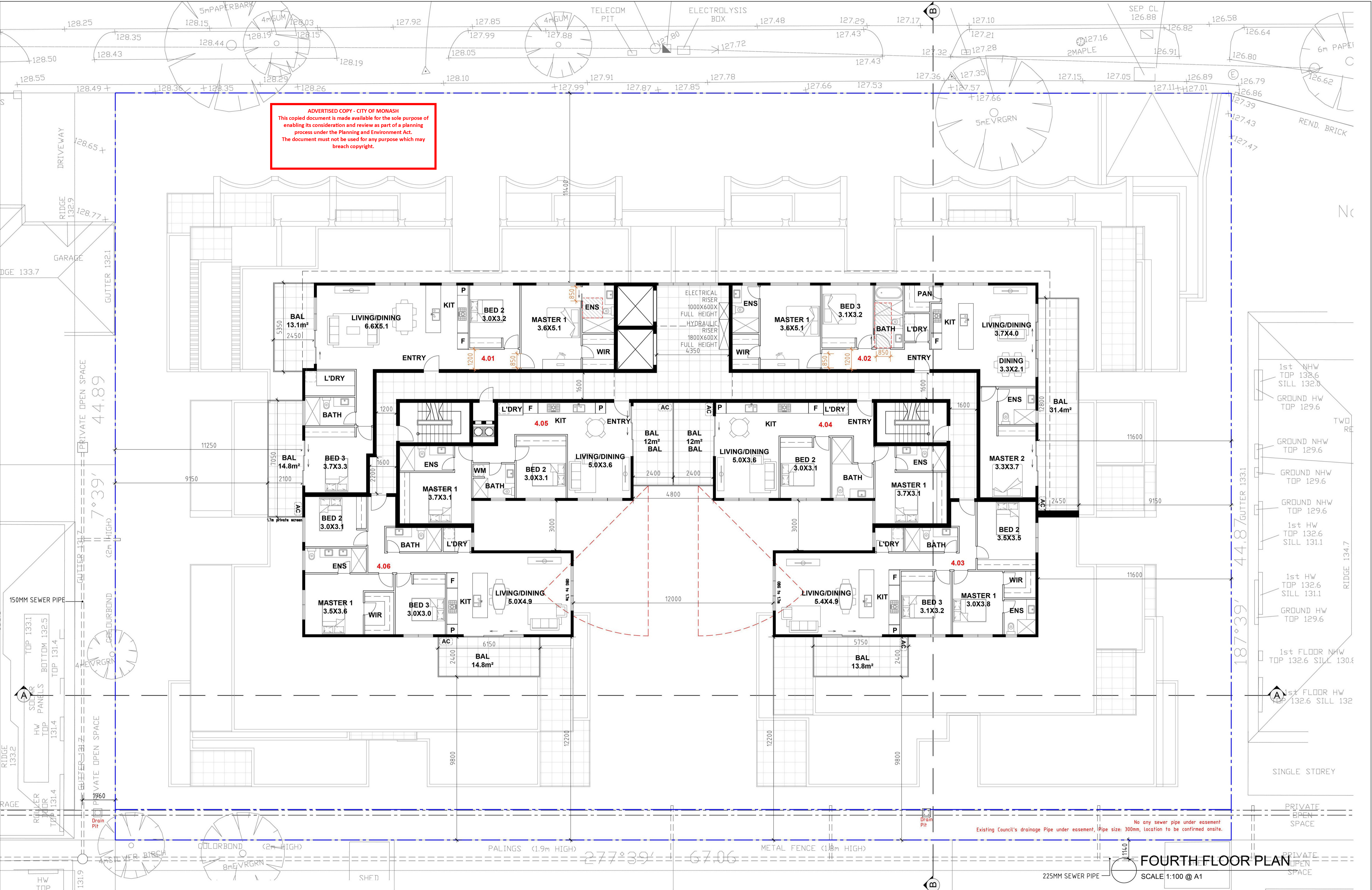
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Project	718-724 High Street Road, Glen Waverley
Drawing	THIRD FLOOR PLAN

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated

Project Number	21-006	Drawing Number	TP11
Date	02-03-2022	Scale	1:100
Drawn	ET	Checked	AL/JW
		Amendment	

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FOURTH FLOOR PLAN
 SCALE 1:100 @ A1

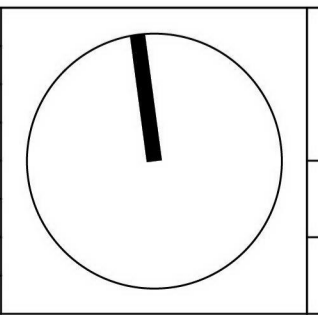
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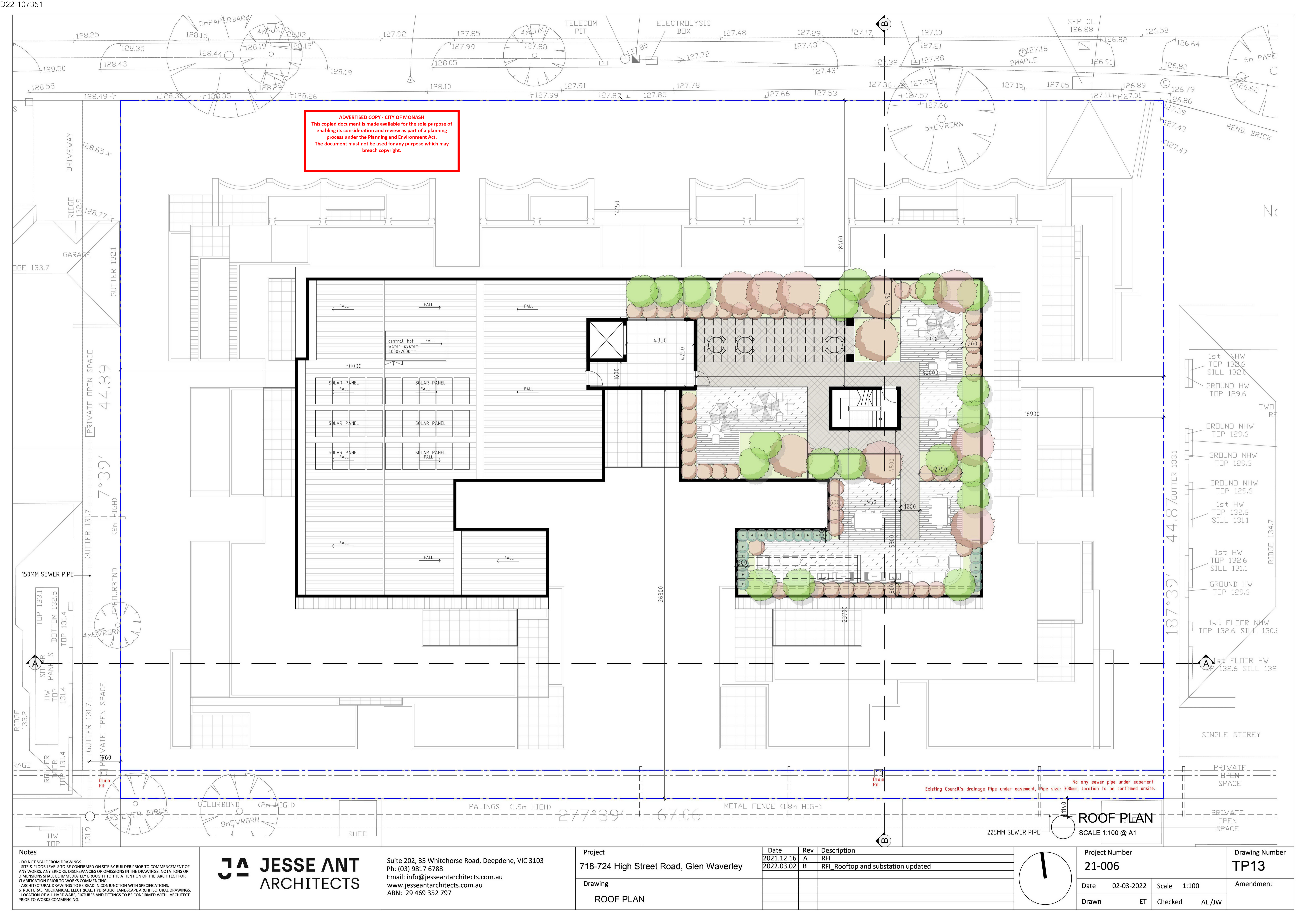
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 ABN: 29 469 352 797

Project	718-724 High Street Road, Glen Waverley
Drawing	FOURTH FLOOR PLAN

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated



Project Number	21-006	Drawing Number	TP12
Date	02-03-2022	Scale	1:100
Drawn	ET	Checked	AL/JW
		Amendment	



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ROOF PLAN
 SCALE 1:100 @ A1

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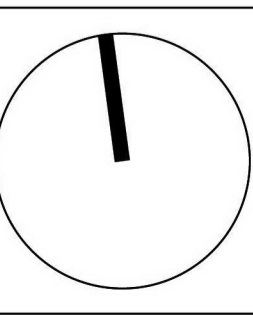


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Project
 718-724 High Street Road, Glen Waverley

Drawing
 ROOF PLAN

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated



Project Number
 21-006

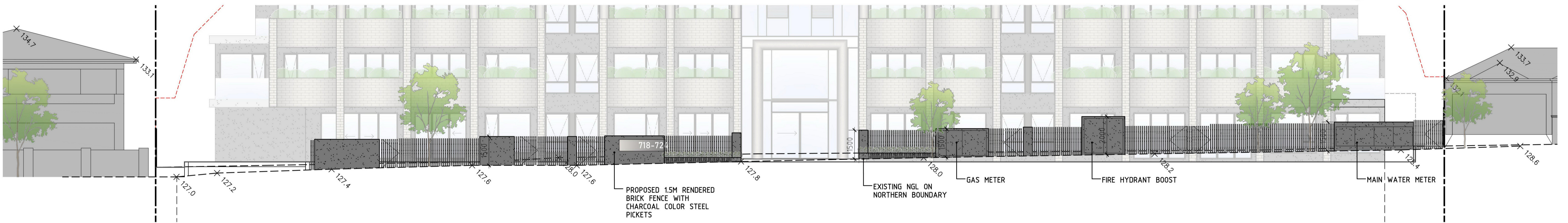
Date 02-03-2022 Scale 1:100
 Drawn ET Checked AL/JW

Drawing Number
 TP13

Amendment



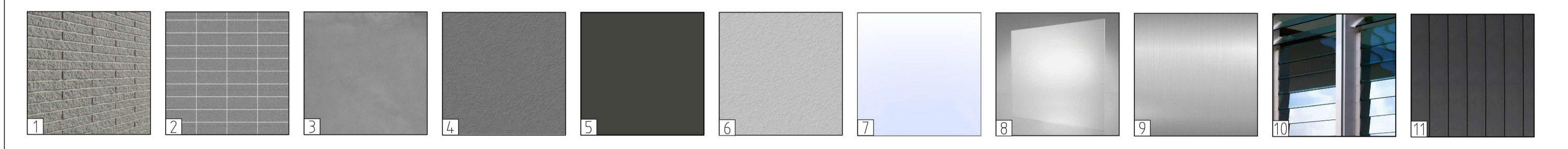
NORTH ELEVATION
SCALE 1:100 @ A1



NORTH ELEVATION_FRONT FENCE
SCALE 1:100 @ A1

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MATERIAL SCHEDULE:



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- 2 SELECTED FACED BRICK
- 3 SELECTED CONCRETE FINISH PANEL
- 4 SELECTED CHARCOL COLOR RENDER
- 5 SELECTED DARK GREY COLOR RENDER
- 6 SELECTED LIGHT GREY COLOR RENDER
- 7 CLEAR GLAZING
- 8 OBSCURE GLAZING
- 9 STAINLESS STEEL
- 10 GLASS LOUVRES
- 11 METAL CLADDING

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Project	718-724 High Street Road, Glen Waverley
Drawing	ELEVATIONS

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated

Project Number	21-006	Drawing Number	TP14
Date	02-03-2022	Scale	1:100
Drawn	ET	Checked	AL/JW
		Amendment	



EAST ELEVATION
SCALE 1:100 @ A1



WEST ELEVATION
SCALE 1:100 @ A1

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- 6 SELECTED LIGHT GREY COLOR RENDER
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Project	718-724 High Street Road, Glen Waverley
Drawing	ELEVATIONS

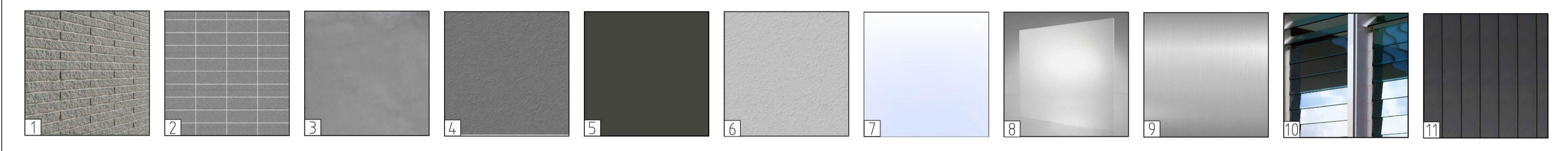
Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated

Project Number	21-006		Drawing Number	TP15
Date	02-03-2022	Scale	1:100	Amendment
Drawn	ET	Checked	AL/JW	



SOUTH ELEVATION
SCALE 1:100 @ A1

MATERIAL SCHEDULE:



- 1 SELECTED FACED BRICK
- 2 SELECTED FACED BRICK
- 3 SELECTED CONCRETE FINISH PANEL
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Project	718-724 High Street Road, Glen Waverley
Drawing	ELEVATIONS

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated

Project Number		21-006		Drawing Number		TP16	
Date	02-03-2022	Scale	1:100	Amendment			
Drawn	ET	Checked	AL/JW				



SECTION A-A
SCALE 1:100 @ A1

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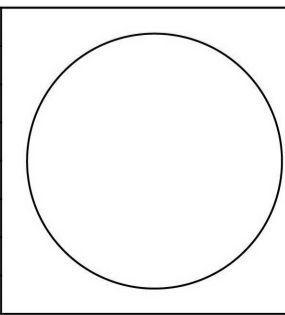
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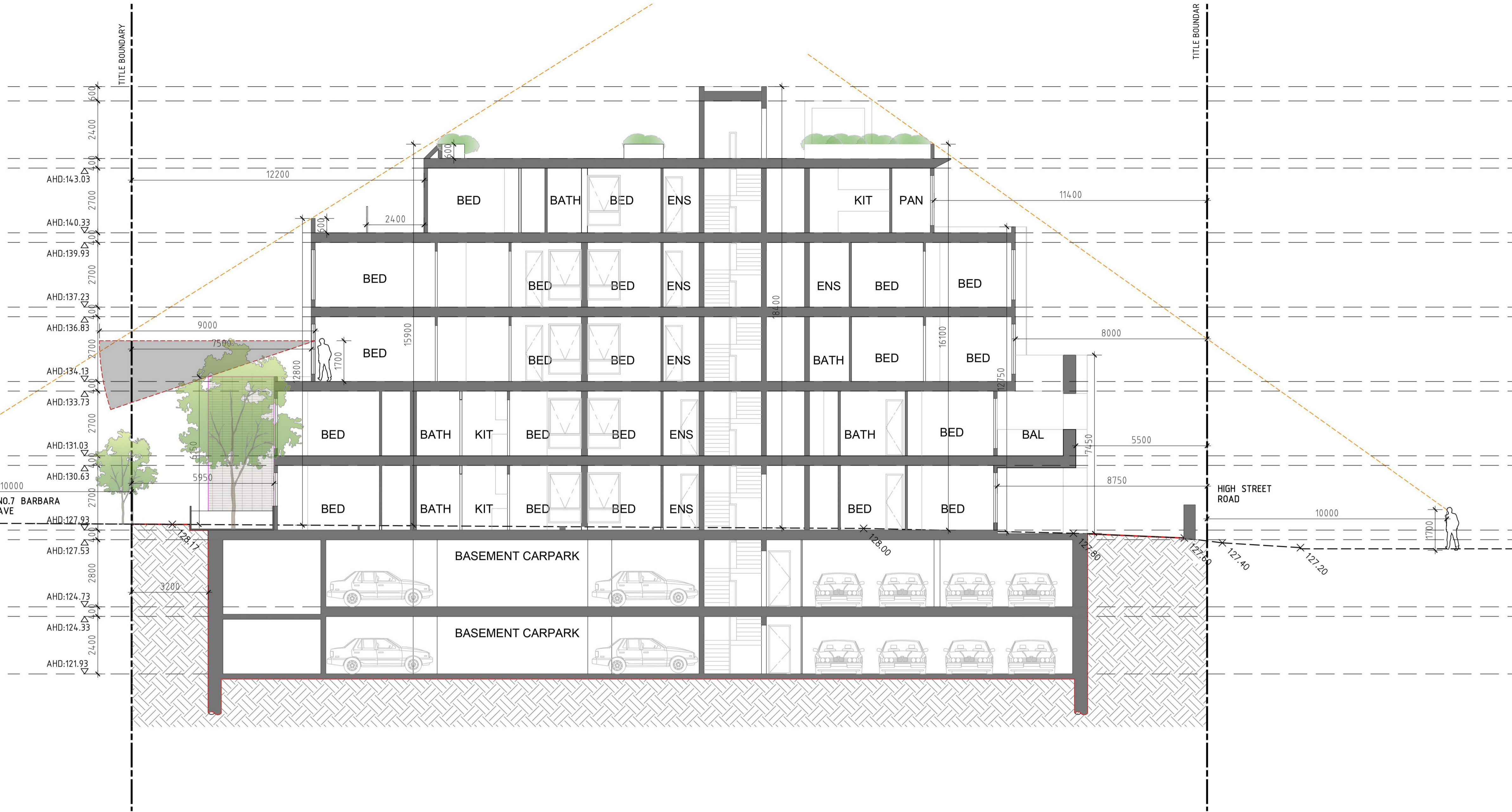
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Project	718-724 High Street Road, Glen Waverley
Drawing	SECTIONS

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated



Project Number	21-006		Drawing Number	TP17
Date	02-03-2022	Scale	1:100	Amendment
Drawn	ET	Checked	AL/JW	



SECTION B-B
SCALE 1:100 @ A1

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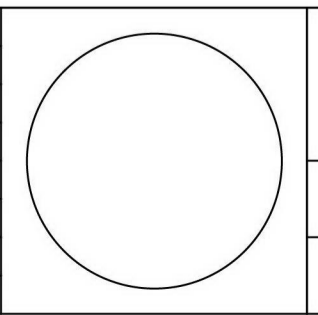


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Project
718-724 High Street Road, Glen Waverley

Drawing
SECTIONS

Date	Rev	Description
2021.12.16	A	RFI
2022.03.02	B	RFI_Rooftop and substation updated



Project Number
21-006

Date 02-03-2022 Scale 1:100
Drawn ET Checked AL/JW

Drawing Number
TP18

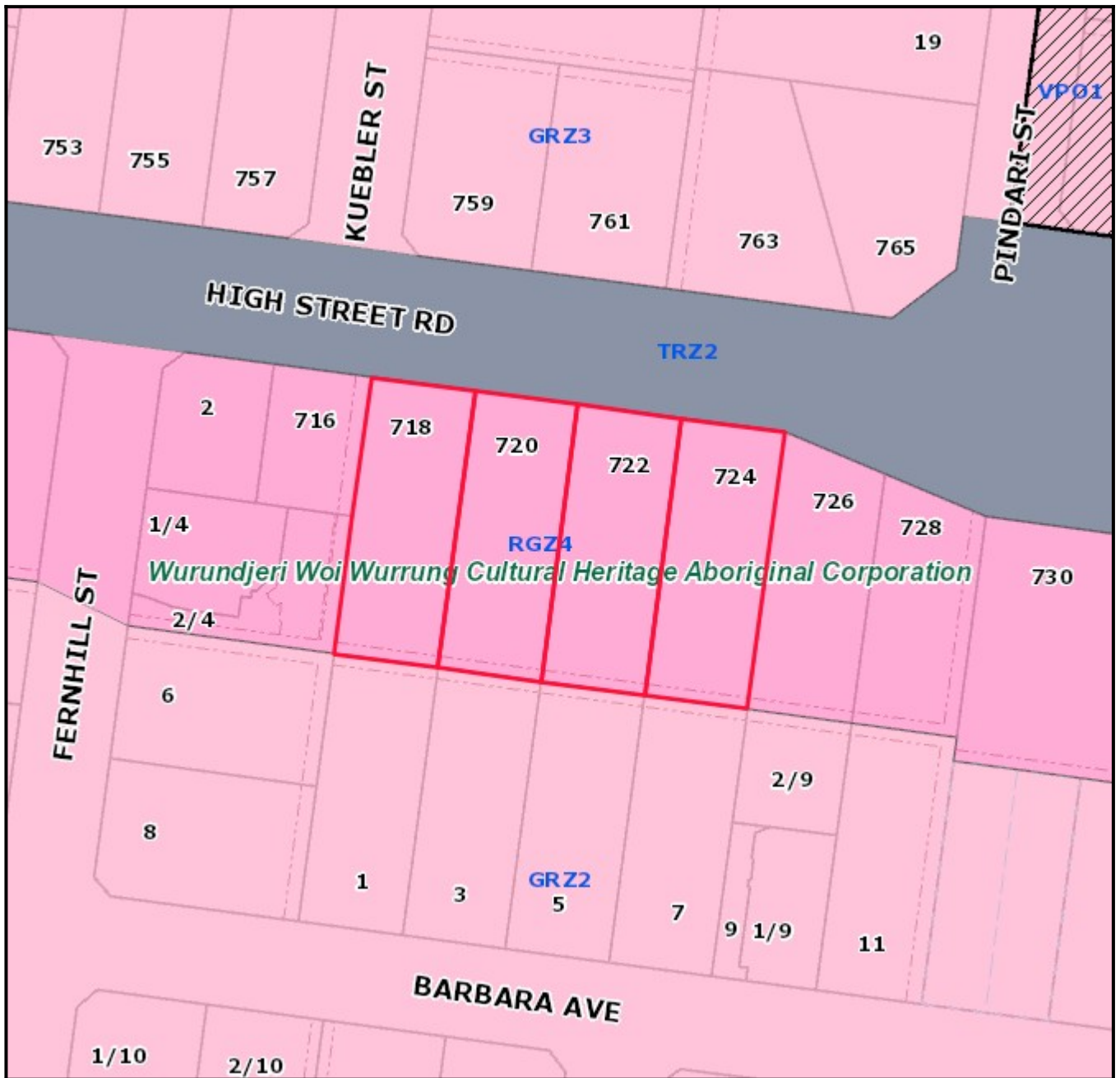
Amendment

Attachment 2: 718-724 High Street Road, Glen Waverley





Planning Overlays and Zones



Legend

Planning Zones

Planning Overlays



Address

718-724 High Street Road GLEN WAVERLEY VIC 3150

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Objector Map

Subject land shaded light red.
Objector properties shaded dark green and pinpointed.

Legend

- Property
- Proposed Property
- Common Property
- Easements
- Railines
- Reserves
- Open Space Public Access**
 - Accessway/ trail
 - Conservation
 - Memorial Park
 - Play
 - Relaxation/ contemplation
 - Social/ family recreation
 - Sport
 - Utility/ buffer/ enviro constraint
 - Visual amenity
 - Water based recreation

1:3000

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