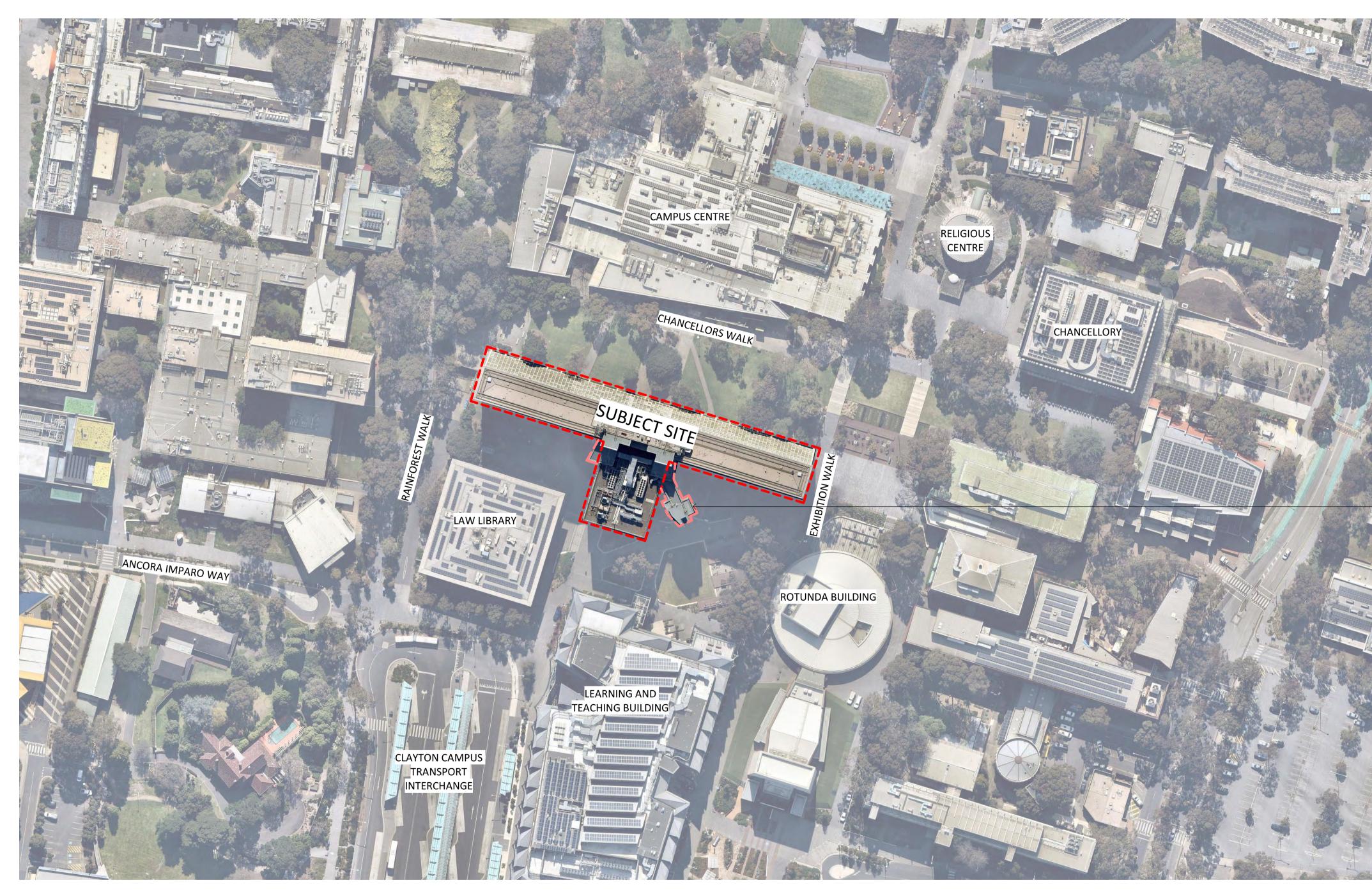
# MONASH UNIVERSITY CLAYTON CAMPUS



## **DRAWING REGISTER**

LOCATION PLAN & DRAWING REGISTER DEMOLITION ROOF PLAN DEMOLITION COLONNADE REFLECTED CEILING PLAN PROPOSED COLONNADE REFLECTED CEILING PLAN PROPOSED ROOF PLAN **ELEVATIONS - NORTH - EXISTING ELEVATIONS - SOUTH - EXISTING ELEVATIONS - EAST & WEST - EXISTING ELEVATIONS - SOUTH - DEMOLITION ELEVATIONS - EAST & WEST - DEMOLITION ELEVATIONS - NORTH - PROPOSED ELEVATIONS - SOUTH - PROPOSED ELEVATIONS - EAST & WEST - PROPOSED** PART NORTH ELEVATION EAST PART SOUTH ELEVATION EAST PART SOUTH ELEVATION SOUTH TYPICAL WINDOW ELEVATIONS - EXISTING AND PROPOSED

FINISHES BOARD - EXTERNAL

O1 LOCATION PLAN SCALE 1:1000

ACOUSTIC ENGINEERING Cundall L2/330 Little Collins Stree Melbourne, VIC 3000 T (03) 9635 3700 cundall.com

**BUILDING SURVEYOR Steve Watson & Partners** Melbourne, VIC 3000 T (03) 9380 5558

swpartners.com.au BUILDING SERVICES ENGINEER + ESD Level 15/28 Freshwater Place Southbank, Vic 3006

T (03) 9861 1111 wsp.com

CIVIL, FACADE & STRUCTURE ENGINEERING Level 15/28 Freshwater Place Southbank, Vic 3006

REV. DETAILS

1 TOWN PLANNING

DDA CONSULTANT **Architecture & Access** Level 5 / 369 Royal Parade Parkville, VIC 3052

**WSP** 

T (03) 9861 1111

architectureandaccess.com.au



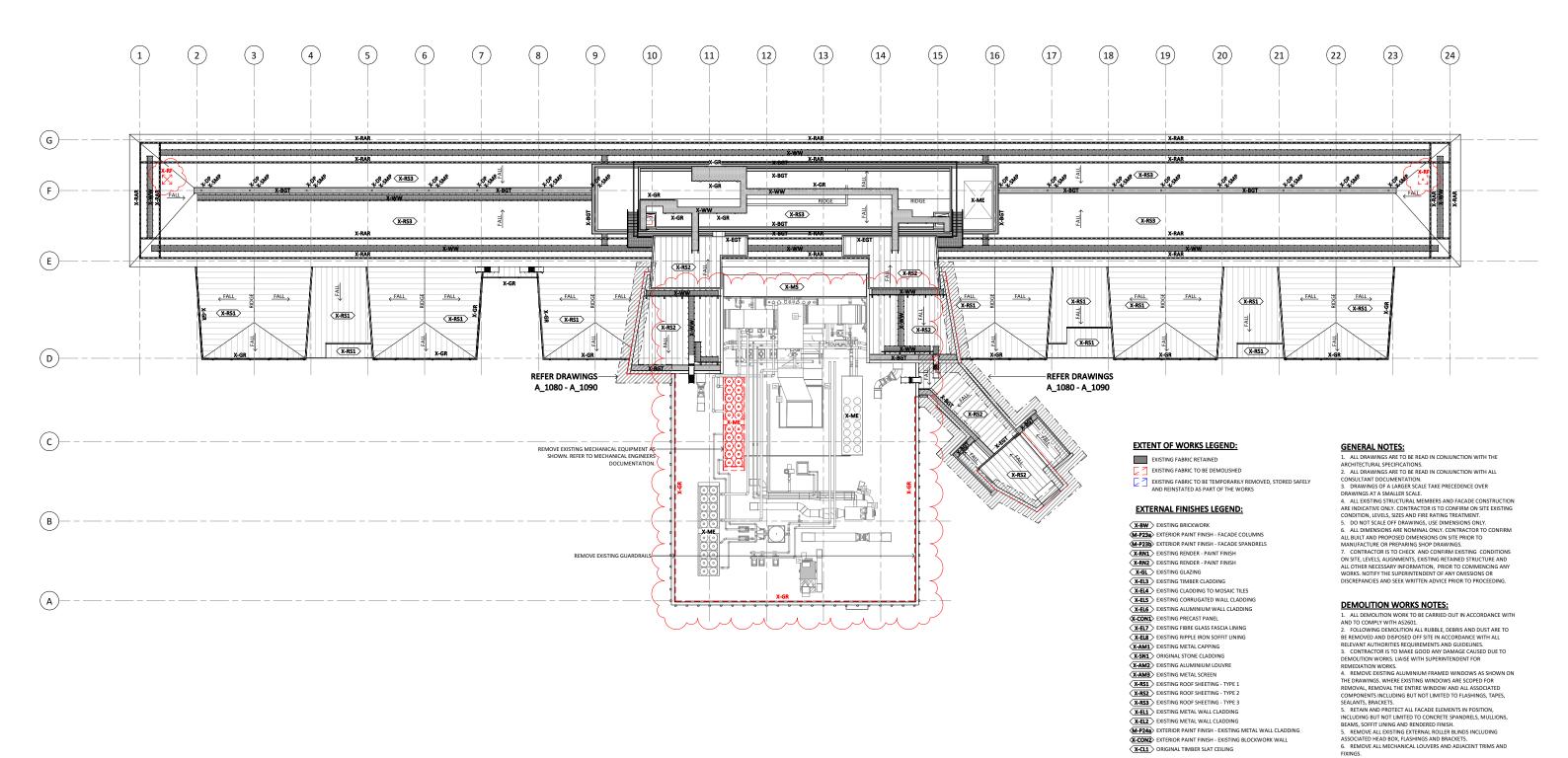


MONASH MENZIES REDEVELOPMENT - STAGE 2 MONASH UNIVERSITY CLAYTON CAMPUS

LOCATION PLAN & DRAWING REGISTER

			NORTH
FOR A	APPR		
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			SCALE
			1:1000@A1
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## X-RS1 EXISTING ROOF SHEETING - TYPE 1

X-RS2 EXISTING ROOF SHEETING - TYPE 2

(X-AM3) EXISTING METAL SCREEN

X-RS3 EXISTING ROOF SHEETING - TYPE 3

X-EL1 > EXISTING METAL WALL CLADDING

X-EL2 EXISTING METAL WALL CLADDING

M-P24a EXTERIOR PAINT FINISH - EXISTING METAL WALL CLADDING (X-CON2) EXTERIOR PAINT FINISH - EXISTING BLOCKWORK WALL

X-CL1 ORIGINAL TIMBER SLAT CEILING

#### ROOF LEGEND:

X-WW EXISTING WALKWAYS

X-GR EXISTING GUARDRAILS X-ME EXISTING MECHANICAL EQUIPMENT

X-RF EXISTING ROOF FAN

X-BGT EXISTING BOX GUTTER

X-SMP EXISTING SUMP X-DP EXISTING DOWNPIPE

X-EGT EXISTING EAVES GUTTER

X-RAR EXISTING BMU RAIL

1. CUNINALION PREPARED LIDIATION REPORT OF EXISTING CONDITIONS FOR SUPERINTENDENT'S APPROVAL PRIOR TO COMMENCEMENT OF WORKS.

2. PROTECT EXISTING FABRIC TO BE RETAINED FROM DAMAGE DURING DEMOLITION WORKS INCLUDING, BUT NOT LIMITED TO DOORS, GLAZED CURTAIN WALLS AND WINDOWS, WALLS, FLOORS, CEILINGS, STAIRS, ROOFING, SAFE ROOF ACCESS SYSTEM, CLADDING SYSTEMS, SEPUCES, RITTINGS AND FIXTURES, FRAMING OR STRUCTURAL ELEMENTS.

3. CONTRACTOR TO CONFIRM, RETAIN AND PROTECT ALL EXISTING FIRE RATED CATEGORY TO CONFIRM, RETAIN AND PROTECT ALL EXISTING FIRE RATED CATEGORY TO CONFIRM, SETAIN AND PROTECT ALL EXISTING FIRE RATED CATEGORY TO CONFIRM, SETAIN AND PROTECT ALL ELEMENTS, UNLESS NOTED OTHERWISE.

4. WHERE INSTERNAL OR EXTERNAL ELEMENTS ARE REQUIRED TO BE REMOVED TO BEABLE THE WORKS, THESE ARE TO BE STORED AND REINSTAFED TO MATCH THE EXISTING CONDITION.

5. CONTRACTOR TO REPAIR ANY DAMAGE TO BETAINED FABRIC TO MATCH THE EXISTING SUILDING IN A SECURE AND WATER TIGHT CONDITION AT ALL TIMES THROUGHOUT THE WORKS.

8. PROTECT ALL LANDSCAPE LOCATED IN SITE COMPOUND

FIXINGS.

7. REMOVE ALL REDUNDANT SERVICES.

8. REMOVE ALL REDUNDANT ACCESS SYSTEM COMPONENTS.

9. ALLOW TO REMOVE ALL ASBESTOS AND DAMAGED SEALANTS.

1. CONTRACTOR TO PREPARE DILAPIDATION REPORT OF EXISTING CONDITIONS FOR SUPERINTENDENT'S APPROVAL PRIOR TO

### FOR APPROVAL TOWN PLANNING

PROTECTION NOTES:

SCALE 1:200@A1 DATE

JOB No. DRAWN CHECKED **SEPT 2021** MM08 VK MT DRAWING No. REVISION

CL\_11\_A\_1240

LOVELL CHEN STUDIOBIRD

MONASH MENZIES REDEVELOPMENT - STAGE 2 MONASH UNIVERSITY CLAYTON CAMPUS

DRAWING TITLE **DEMOLITION ROOF PLAN** 

Cundall T (03) 9635 3700

Steve Watson & Partners Architecture & Access

CIVIL, FACADE & STRUCTURE ENGINEERING

WSP

REV. DETAILS

WSP

Level 15/28 Fresh Southbank, Vic 30 T (03) 9861 1111

MONASH University

01 GROUND FLOOR COLONNADE RCP - DEMOLITION SCALE 1: 200

#### EXTENT OF WORKS LEGEND:

EXISTING FABRIC RETAINED

EXISTING FABRIC TO BE DEMOLISHED

Z SISTING FABRIC TO BE TEMPORARILY REMOVED, STORED SAFELY AND REINSTATED AS PART OF THE WORKS

#### **EXTERNAL FINISHES LEGEND:**

X-BW > EXISTING BRICKWORK

M-P23a EXTERIOR PAINT FINISH - FACADE COLUMNS

M-P23b EXTERIOR PAINT FINISH - FACADE SPANDRELS

X-RN1 EXISTING RENDER - PAINT FINISH

X-RN2 > EXISTING RENDER - PAINT FINISH

X-GL EXISTING GLAZING X-EL3 EXISTING TIMBER CLADDING

(X-FL5) EXISTING CORRUGATED WALL CLADDING

X-CON1> EXISTING PRECAST PANEL X-EL7 EXISTING FIBRE GLASS FASCIA LINING

X-EL8 > EXISTING RIPPLE IRON SOFFIT LINING

X-AM1 EXISTING METAL CAPPING X-SN1 ORIGINAL STONE CLADDING

X-AM2 EXISTING ALUMINIUM LOUVRE

(X-AM3) EXISTING METAL SCREEN

X-RS1 EXISTING ROOF SHEETING - TYPE 1 X-RS2 > EXISTING ROOF SHEETING - TYPE 2

X-RS3 EXISTING ROOF SHEETING - TYPE 3

X-EL1 EXISTING METAL WALL CLADDING

X-EL2 EXISTING METAL WALL CLADDING M-P24a EXTERIOR PAINT FINISH - EXISTING METAL WALL CLADDING

X-CON2 EXTERIOR PAINT FINISH - EXISTING BLOCKWORK WALL

#### **GENERAL NOTES:**

I. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE NRCHITECTURAL SPECIFICATIONS.
2. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.

DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER

VINGS AT A SMALLER SCALE

ARE INDICATIVE ONLY, CONTRACTOR IS TO CONFIRM ON SITE EXISTING

CONDITION, LEVELS, SIZES AND FIRE RATING TREATMENT DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY

ALL DIMENSIONS ARE NOMINAL ONLY, CONTRACTOR TO CONFIRM ALL BUILT AND PROPOSED DIMENSIONS ON SITE PRIOR TO MANUFACTURE OR PREPARING SHOP DRAWINGS.

CONTRACTOR IS TO CHECK AND CONFIRM EXISTING CONDITIONS ON SITE, LEVELS, ALIGNMENTS, EXISTING RETAINED STRUCTURE AND ALL OTHER NECESSARY INFORMATION, PRIOR TO COMMENCING ANY DISCREPANCIES AND SEEK WRITTEN ADVICE PRIOR TO PROCEEDING

#### **DEMOLITION WORKS NOTES:**

ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AND TO COMPLY WITH AS2601.

FOLLOWING DEMOLITION ALL RUBBLE, DEBRIS AND DUST ARE TO

BE REMOVED AND DISPOSED OFF SITE IN ACCORDANCE WITH ALL RELEVANT AUTHORITIES REQUIREMENTS AND GUIDELINES. 3. CONTRACTOR IS TO MAKE GOOD ANY DAMAGE CAUSED DUE TO DEMOLITION WORKS. LIAISE WITH SUPERINTENDENT FOR

REMEDIATION WORKS.
4. REMOVE EXISTING ALUMINIUM FRAMED WINDOWS AS SHOWN ON THE DRAWINGS. WHERE EXISTING WINDOWS ARE SCOPED FOR REMOVAL, REMOVAL THE ENTIRE WINDOW AND ALL ASSOCIATED COMPONENTS INCLUDING BUT NOT LIMITED TO FLASHINGS, TAPES,

SEALANTS, BRACKETS.
5. RETAIN AND PROTECT ALL FACADE ELEMENTS IN POSITION

INCLUDING BUT NOT LIMITED TO CONCRETE SPANDRELS, MULLIONS, BEAMS, SOFFIT LINING AND RENDERED HINISH.

5. REMOVE ALL EXISTING EXTERNAL ROLLER BLINDS INCLUDING ASSOCIATED HEAD BOX, FLASHINGS AND BRACKETS.

6. REMOVE ALL MECHANICAL LOUVERS AND ADJACENT TRIMS AND ENGINEER PROPERTY.

FIXINGS.
7. REMOVE ALL REDUNDANT SERVICES.
8. REMOVE ALL REDUNDANT ACCESS SYSTEM COMPONENTS.
9. ALLOW TO REMOVE ALL ASBESTOS AND DAMAGED SEALANTS

#### **PROTECTION NOTES:**

CONDITIONS FOR SUPERINTENDENT'S APPROVAL PRIOR TO COMMENCEMENT OF WORKS.

2. PROTECT EXISTING FABRIC TO BE RETAINED FROM DAMAGE DURING DEMOLITION WORKS INCLUDING, BUT NOT LIMITED TO DOORS, GLAZED CURTAIN WALLS AND WINDOWS, WALLS, FLOORS, CELINGS, STAIRS, ROOFING, SAFE ROOF ACCESS SYSTEM, CLADDING SYSTEMS, SERVICES, FITTINGS AND FIXTURES, FRAMING OR

STRUCTURAL FLEMENTS. CONTRACTOR TO CONFIRM, RETAIN AND PROTECT ALL EXISTING FIRE RATED TREATMENTS, INCLUDING SPRINKLER SYSTEM, INTERNAL AND EXTERNAL LININGS, CLADDINGS AND FIRE RATED COATINGS TO

STRUCTURAL ELEMENTS, UNLESS NOTED OTHERWISE. . WHERE INTERNAL OR EXTERNAL ELEMENTS ARE REQUIRED TO BE

REMOVED TO ENABLE THE WORKS. THESE ARE TO BE STORED AND REINSTATED TO MATCH THE EXISTING CONDITION . CONTRACTOR TO REPAIR ANY DAMAGE TO RETAINED FABRIC TO

MATCH EXISTING CONDITION, TO THE SUPERINTENDENT'S APPROVAL MAINTAIN THE EXISTING BUILDING IN A SECURE AND WATER TIGHT CONDITION AT ALL TIMES THROUGHOUT THE WORKS
 PROTECT THE SITE AT ALL TIMES FROM UNAUTHORISED ACCESS

#### 8. PROTECT ALL LANDSCAPE LOCATED IN SITE COMPOUND

#### CEILING LEGEND:

X-COL EXISTING CONCRETE COLUMN

Cundall

BUILDING SERVICES ENGINEER + ESC WSP

Steve Watson & Partners

CIVIL FACADE & STRUCTURE ENGINEERING WSP

Architecture & Access





MONASH MENZIES REDEVELOPMENT - STAGE 2 MONASH UNIVERSITY CLAYTON CAMPUS

DRAWING TITLE **DEMOLITION COLONNADE** REFLECTED CEILING PLAN FOR APPROVAL TOWN PLANNING 1:200@A1 JOB No. DRAWN CHECKED **SEPT 2021** MM08 VK MT

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DRAWING No.

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SCALE

DATE

3

REVISION

(02 GROUND FLOOR COLONNADE RCP - PROPOSED / SCALE 1:200

## **EXTERNAL FINISHES LEGEND:**

**X-BW** EXISTING BRICKWORK

M-P23a EXTERIOR PAINT FINISH - FACADE COLUMNS

(M-P23b) EXTERIOR PAINT FINISH - FACADE SPANDRELS X-RN1 > EXISTING RENDER - PAINT FINISH

X-RN2 EXISTING RENDER - PAINT FINISH X-GL > EXISTING GLAZING

GL-9 HIGH PERFORMANCE EXTERNAL GLAZING - NORTH FACADE

GL-10 HIGH PERFORMANCE EXTERNAL GLAZING - OTHER FACADES

**EL-01** NEW ALUMINIUM CLADDING - KNUCKLE

**EL-02** NEW REINFORCED PRESSED CEMENT PANEL - NORTH FACADE

**X-EL4** EXISTING CLADDING TO MOSAIC TILES **X-EL5** EXISTING CORRUGATED WALL CLADDING

X-EL6 EXISTING ALUMINIUM WALL CLADDING

**X-CON1** EXISTING PRECAST PANEL

**X-EL7** EXISTING FIBRE GLASS FASCIA LINING

X-EL8 EXISTING RIPPLE IRON SOFFIT LINING **X-AM1** EXISTING METAL CAPPING

X-SN1 ORIGINAL STONE CLADDING

**X-AM2** EXISTING ALUMINIUM LOUVRE X-AM3 EXISTING METAL SCREEN

X-RS1 EXISTING ROOF SHEETING - TYPE 1

X-RS2 EXISTING ROOF SHEETING - TYPE 2

X-RS3 EXISTING ROOF SHEETING - TYPE 3 **X-EL1** EXISTING METAL WALL CLADDING

M-P24a EXTERIOR PAINT FINISH - EXISTING METAL WALL CLADDING X-CON2 EXTERIOR PAINT FINISH - EXISTING BLOCKWORK WALL

**X-CL1** ORIGINAL TIMBER SLAT CEILING

X-SK1 > ORIGINAL TERRAZZO SKIRTING M-SK5 NEW TERRAZZO SKIRTING TO MATCH EXISTING

**EL-03** NEW PERFORATED STEEL SCREEN

**EL-04** NEW POWDER COATED STEEL COLUMNS

## **CEILING LEGEND:**

X-COL EXISTING CONCRETE COLUMN

## **GENERAL NOTES:**

1. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS AT A SMALLER SCALE.

2. ALL EXISTING STRUCTURAL MEMBERS AND FACADE CONSTRUCTION ARE INDICATIVE ONLY. CONTRACTOR IS TO CONFIRM ON SITE EXISTING CONDITION, LEVELS, SIZES AND FIRE RATING TREATMENT.

3. DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY. 4. ALL DIMENSIONS ARE NOMINAL ONLY. CONTRACTOR TO CONFIRM

ALL BUILT AND PROPOSED DIMENSIONS ON SITE PRIOR TO MANUFACTURE OR PREPARING SHOP DRAWINGS.

5. CONTRACTOR IS TO CHECK AND CONFIRM EXISTING CONDITIONS ON SITE, LEVELS, ALIGNMENTS, EXISTING RETAINED STRUCTURE AND

ALL OTHER NECESSARY INFORMATION, PRIOR TO COMMENCING ANY WORKS. NOTIFY THE SUPERINTENDENT OF ANY OMISSIONS OR DISCREPANCIES AND SEEK WRITTEN ADVICE PRIOR TO PROCEEDING.

## **SCOPE NOTES:**

1. CLEAN, PREPARE AND PAINT ALL SURFACES WITHIN THE SCOPE OF WORKS AREA, INCLUDING BUT NOT LIMITED TO CONCRETE FACADE ELEMENTS, EXPOSED STRUCTURE AND SERVICES, RAINWATER GOODS AND CLADDING.PROVIDE DETAILED SHOP DRAWINGS INCLUDING BUT NOT LIMITED TO: WINDOWS, DOORS, JOINERY, PARTITION SYSTEMS, CLADDING SYSTEM AND FRAMING SYSTEMS

2. INSTALL NEW HIGH PERFORMANCE ALUMINIUM WINDOWS TO

EXTENT INDICATED ON DRAWINGS. 3. INSTALL WINDOW SILLS AND ALUMINIUM TRIMS TO PERIMETER OF

SPANDRELS CAVITY. 4. INSTALL NEW MECHANICAL LOUVERS AS SHOWN.

5. INSTALL NEW ROOF AND FACADE ACCESS SYSTEM, REFER ROOF

6. INSTALL NON-COMBUSTIBLE ALUMINIUM CLADDING TO THE CENTRAL LIFT TO GROUND FLOOR.

## **WORKS NOTES:**

1. SETOUT IS TO BE IN ACCORDANCE WITH ARCHITECTURAL **DRAWINGS** 2. ALL DESIGN AND INSTALLATION OF ROOFING TO COMPLY WITH

3. ALL ROOF PLUMBING TO COMPLY WITH AS/NZS 3500.3.2.

4. ALL RAIN WATER GOODS MATERIAL TO COMPLY WITH AS/NZS

5. ALL FLASHING AND CAPPING TO COMPLY WITH AS/NZS 2904. 6. REFER SERVICES ENGINEERS DOCUMENTATION FOR PROPOSED WORKS TO AND CONNECTION TO EXISTING SERVICES. BEFORE COMMENCING WORKS INSPECT THE SITE AND OBTAIN MEASUREMENTS

AND OTHER NECESSARY INFORMATION AS REQUIRED 7. ALL NEW SERVICES RETICULATION TO BE CONCEALED

FOR APPROVAL REDEVELOPMENT - STAGE 2

DESIGN DEVELOPMENT

1:200@A1 JOB No. DRAWN CHECKED DATE MT **SEPT 2021** MM08 VK DRAWING No. REVISION

NORTH

CL\_11\_00\_A\_3245



MONASH MENZIES MONASH UNIVERSITY CLAYTON CAMPUS

DRAWING TITLE PROPOSED COLONNADE REFLECTED CEILING PLAN

ACOUSTIC ENGINEERING Cundall L2/330 Little Collins Street Melbourne, VIC 3000 T (03) 9635 3700 cundall.com **BUILDING SURVEYOR Steve Watson & Partners** Melbourne, VIC 3000 T (03) 9380 5558 swpartners.com.au

wsp.com

BUILDING SERVICES ENGINEER + ESD **WSP** Level 15/28 Freshwater Place Southbank, Vic 3006 T (03) 9861 1111

CIVIL, FACADE & STRUCTURE ENGINEERING

**Architecture & Access** 

Level 15/28 Freshwater Place

Level 5 / 369 Royal Parade

architectureandaccess.com.au

Southbank, Vic 3006

T (03) 9861 1111

DDA CONSULTANT

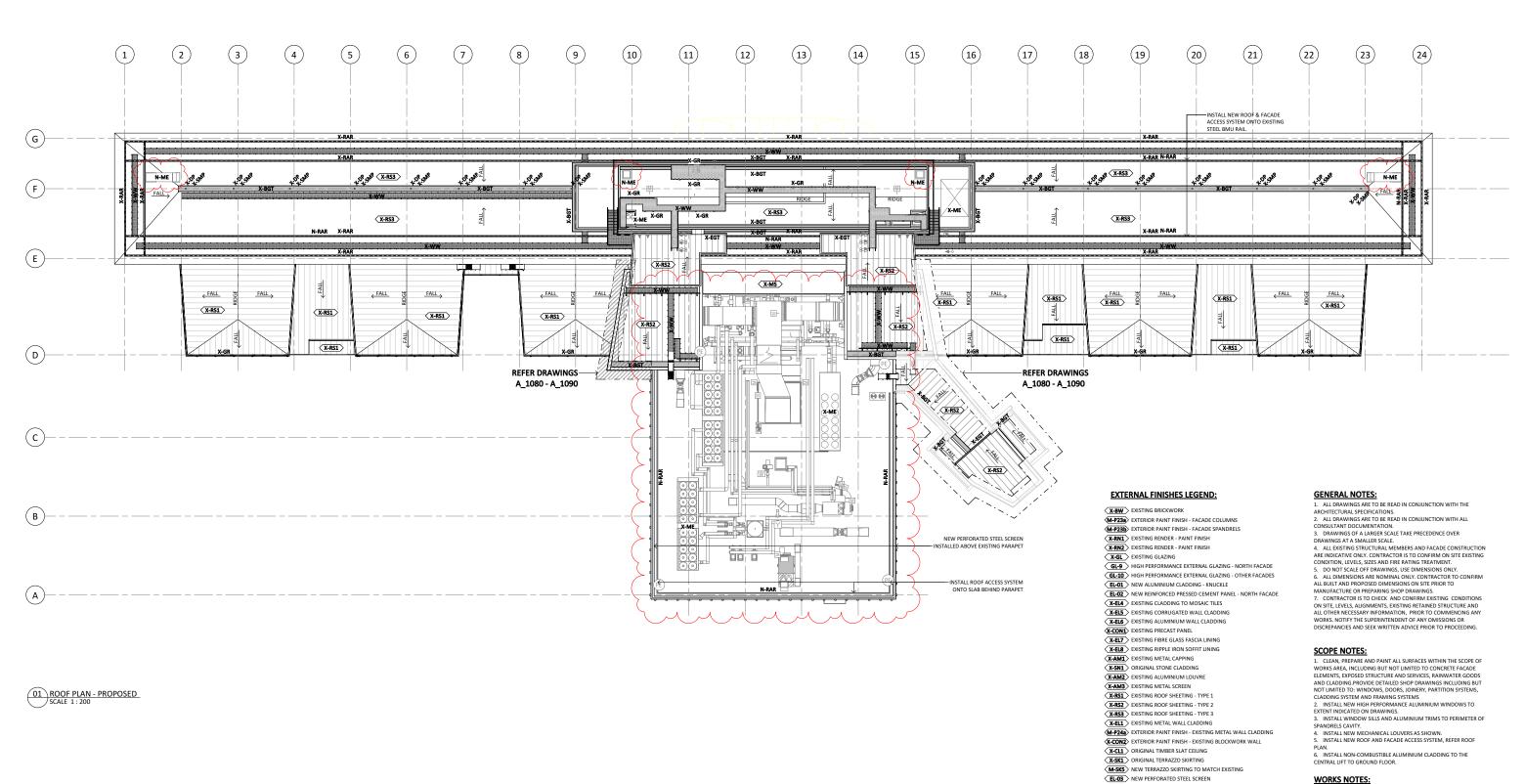
Parkville, VIC 3052

**WSP** 

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

REV. DETAILS

1 TOWN PLANNING



#### EL-04 NEW POWDER COATED STEEL COLUMNS NEW ALUMINIUM LOUVRE

**ROOF LEGEND:** X-WW EXISTING WALKWAY

N-ME NEW MECHANICAL EQUIPMENT. REFER TO MECH. ENGR'S DOCUMENTATION

X-RF EXISTING ROOF FAN

X-BGT EXISTING BOX GUTTER

X-SMP EXISTING SUMP

X-DP EXISTING DOWNPIPE

X-EGT EXISTING EAVES GUTTER

N-RAR NEW FACADE ACCESS RAIL

X-RAR EXISTING BMU RAIL

MONASH MENZIES REDEVELOPMENT - STAGE 2

MONASH UNIVERSITY CLAYTON CAMPUS

DRAWING TITLE

PROPOSED ROOF PLAN

X-GR EXISTING GUARDRAILS
X-ME EXISTING MECHANICAL EQUIPMENT

ALL ROOF PLUMBING TO COMPLY WITH AS/NZS 3500.3.2.
ALL RAIN WATER GOODS MATERIAL TO COMPLY WITH AS/NZS ALL FLASHING AND CAPPING TO COMPLY WITH AS/NZS 2904

. REFER SERVICES ENGINEERS DOCUMENTATION FOR PROPOSED WORKS TO AND CONNECTION TO EXISTING SERVICES, BEFORE COMMENCING WORKS INSPECT THE SITE AND OBTAIN MEASUREMENTS

ALL DESIGN AND INSTALLATION OF ROOFING TO COMPLY WITH

AND OTHER NECESSARY INFORMATION AS REQUIRED ALL NEW SERVICES RETICULATION TO BE CONCEALED

FOR APPROVAL TOWN PLANNING SCALE

1:200@A1 JOB No. DRAWN CHECKED SEPT 2021 MM08 VK MT DRAWING No. REVISION

CL\_11\_A\_3246

Cundall T (03) 9635 3700

Steve Watson & Partners

Level 15/28 Freshwater Place Southbank, Vic 3006 T (03) 9861 1111

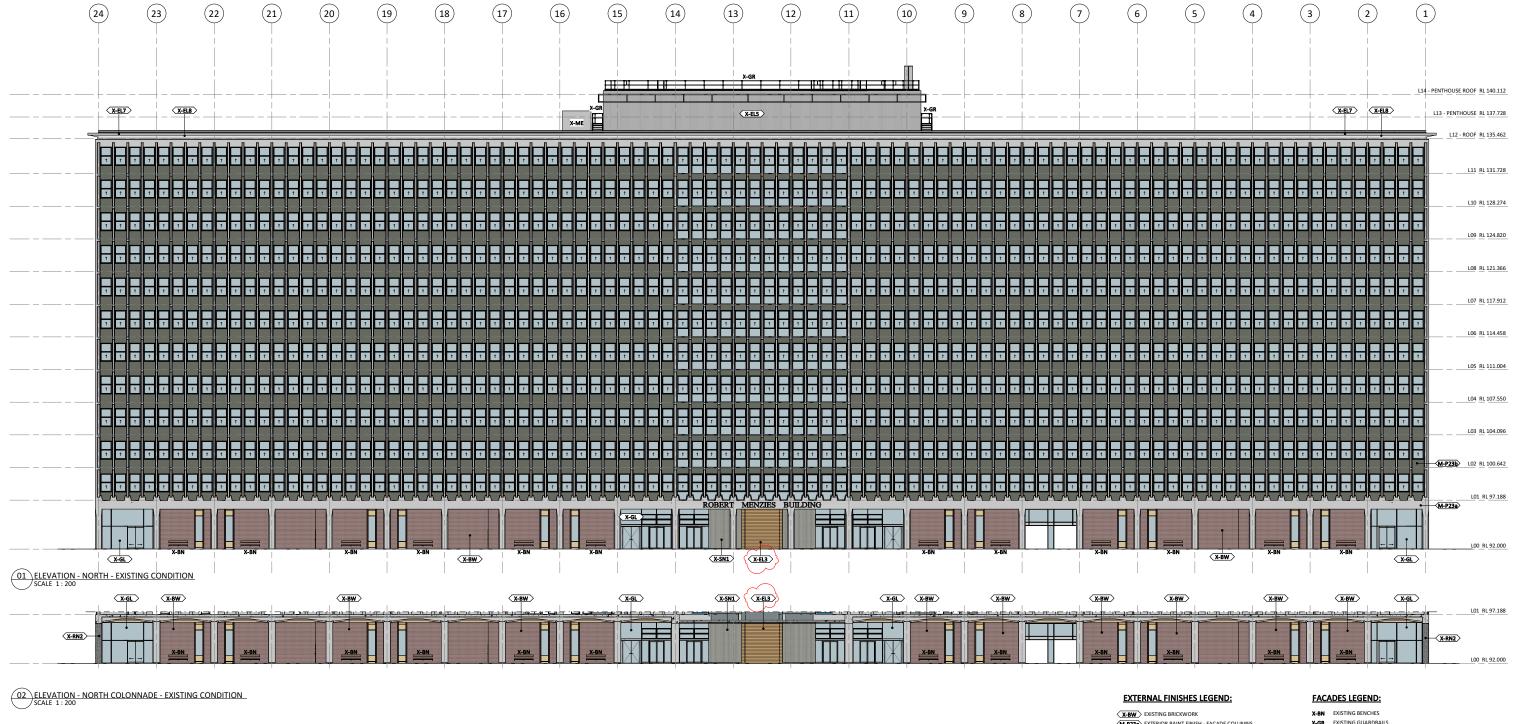
WSP

CIVIL, FACADE & STRUCTURE ENGINEERING WSP

Architecture & Access







M-P23a EXTERIOR PAINT FINISH - FACADE COLUMNS

M-P23b EXTERIOR PAINT FINISH - FACADE SPANDRELS

X-RN1 EXISTING RENDER - PAINT FINISH X-RN2 EXISTING RENDER - PAINT FINISH

X-GL > EXISTING GLAZING X-EL3 EXISTING TIMBER CLADDING

X-EL4 > EXISTING CLADDING TO MOSAIC TILES X-EL5 EXISTING CORRUGATED WALL CLADDING

X-EL6 EXISTING ALUMINIUM WALL CLADDING

X-CON1 EXISTING PRECAST PANEL X-FL7 > EXISTING FIBRE GLASS FASCIA LINING

X-EL8 EXISTING RIPPLE IRON SOFFIT LINING X-AM1 EXISTING METAL CAPPING

X-SN1 ORIGINAL STONE CLADDING

X-AM2 EXISTING ALUMINIUM LOUVRE
X-AM3 EXISTING METAL SCREEN

X-RS1 EXISTING ROOF SHEETING - TYPE 1
X-RS2 EXISTING ROOF SHEETING - TYPE 2

X-RS3 EXISTING ROOF SHEETING - TYPE 3
X-EL1 EXISTING METAL WALL CLADDING

X-EL2 EXISTING METAL WALL CLADDING

M-P24a EXTERIOR PAINT FINISH - EXISTING METAL WALL CLADDING

X-CON2 EXTERIOR PAINT FINISH - EXISTING BLOCKWORK WALL

X-CL1 ORIGINAL TIMBER SLAT CEILING

X-ME EXISTING MECHANICAL EQUIPMENT

#### **GENERAL NOTES:**

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATIONS.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.
 DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER

3. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS AT A MALER SCALE.

4. ALL EXISTING STRUCTURAL MEMBERS AND FACADE CONSTRUCTION ARE INDICATIVE ONLY. CONTRACTOR IS TO CONFIRM ON SITE EXISTING CONDITION, LEVELS, SIZES AND FIRE RATING TREATMENT.

5. DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY.

6. ALL DIMENSIONS ARE NOMINAL ONLY. CONTRACTOR TO CONFIRM ALL BUILT AND PROPOSED DIMENSIONS ON SITE PRIOR TO MANUFACTURE OR PREPARING SHOP DRAWINGS.

7. CONTRACTOR IS TO CHECK AND CONFIRM EXISTING CONDITIONS ON SITE, LEVELS, AUGMNENTS, EXISTING RETAINED STRUCTURE AND ALL OTHER NECESSARY INFORMATION, PRIOR TO COMMENCING ANY WORKS. NOTIFY THE SUPERNITEMENT OF ANY OMISSIONS OR DISCREPANCIES AND SEEK WRITTEN ADVICE PRIOR TO PROCEEDING.

ACOUSTIC ENGINEERING

Cundall L2/330 Little Collin

BUILDING SURVEYOR

Steve Watson & Partners
Level 8 / 350 Queen Street
Melbourne, VIC 3000
T (03) 9380 5558
swpartners.com.au BUILDING SERVICES ENGINEER + ESC

WSP Level 15/28 Freshwater Place Southbank, Vic 3006 T (03) 9861 1111 CIVIL FACADE & STRUCTURE ENGINEERING WSP

Architecture & Access



MONASH MENZIES

**REDEVELOPMENT - STAGE 2** MONASH UNIVERSITY CLAYTON CAMPUS

DRAWING TITLE

**ELEVATIONS - NORTH -EXISTING** 

FOR APPROVAL

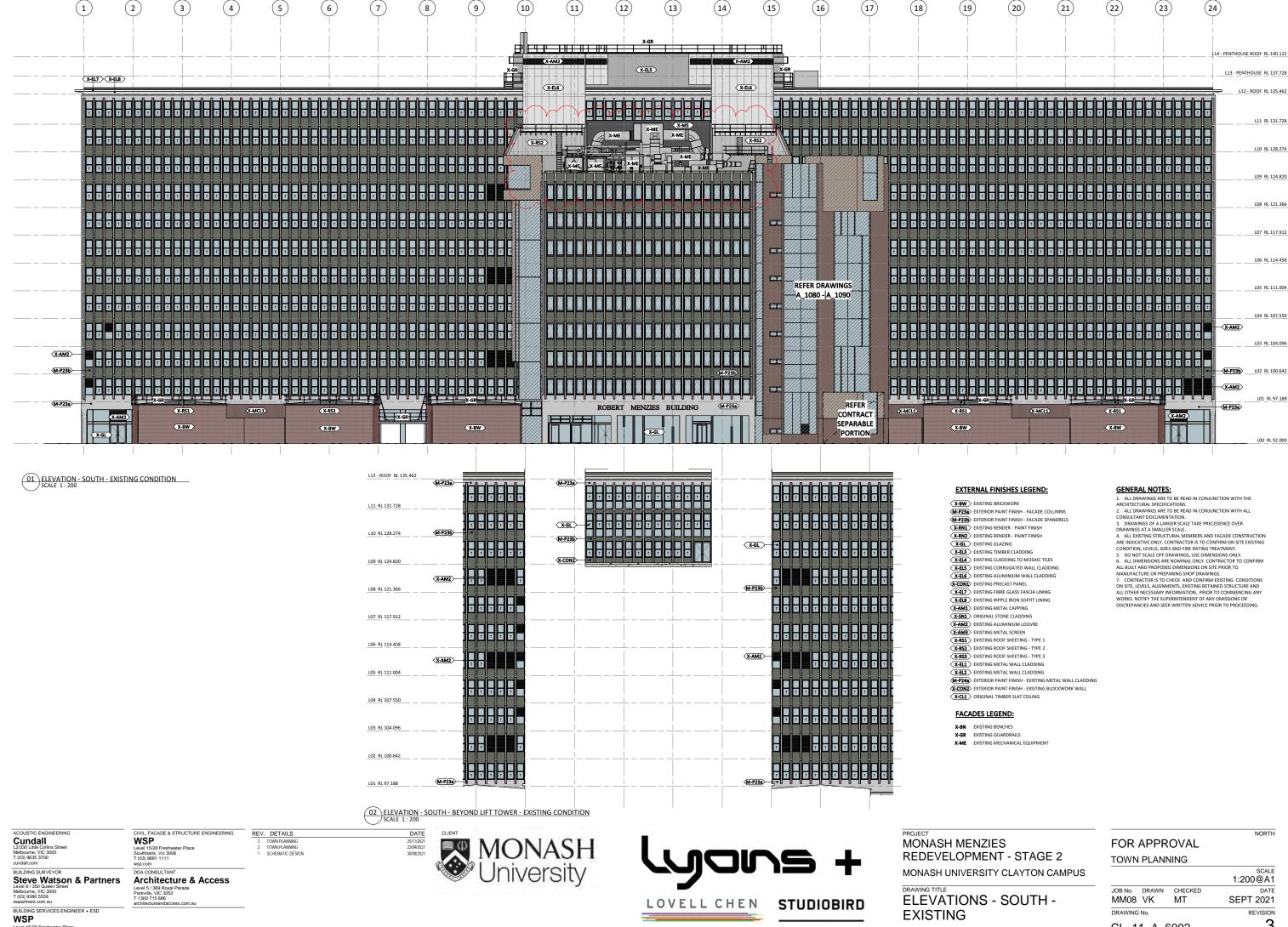
TOWN PLANNING

SCALE 1:200@A1 JOB No. DRAWN CHECKED DATE SEPT 2021 MM08 VK MT DRAWING No. REVISION

CL\_11\_A\_6001

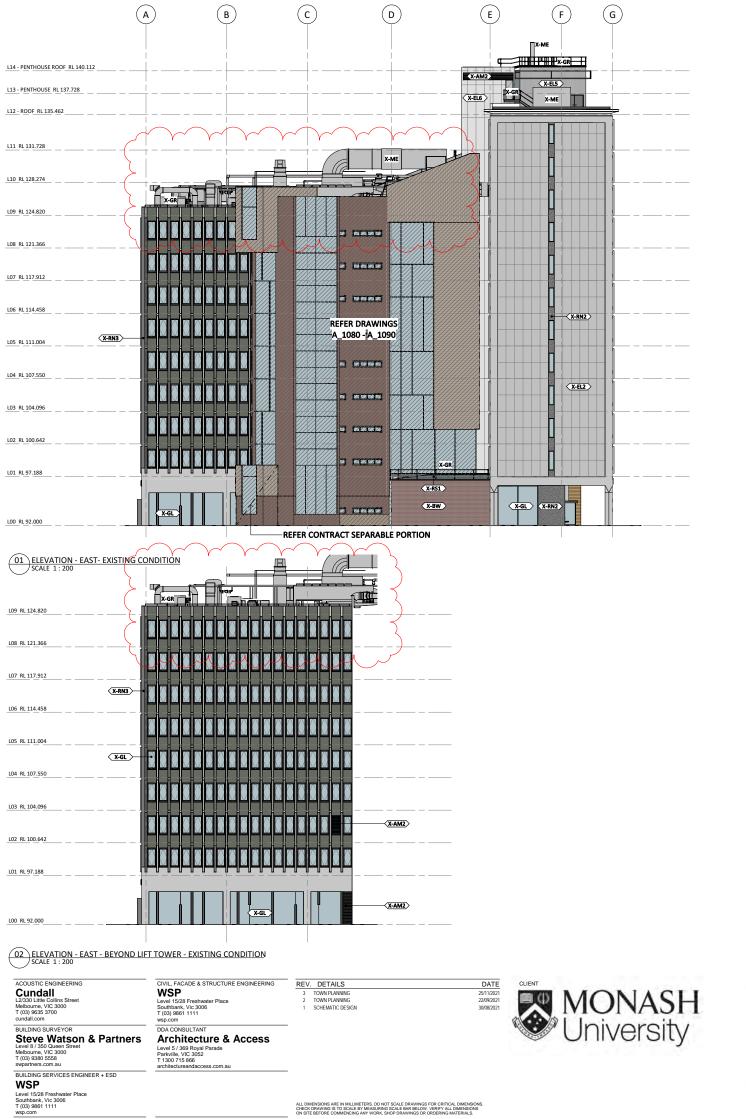
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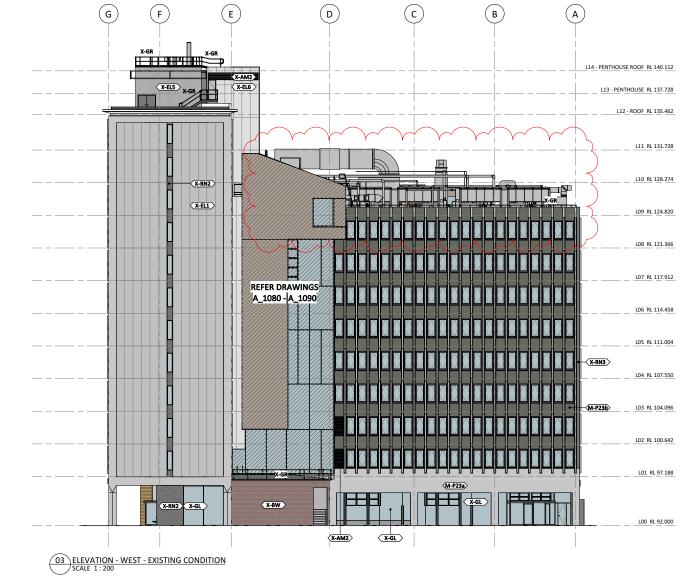
NORTH



Level 15/28 Fresh Southbank, Vic 30 T (03) 9861 1111

CL\_11\_A\_6002





#### EXTERNAL FINISHES LEGEND:

X-BW > EXISTING BRICKWORE

M-P23a EXTERIOR PAINT FINISH - FACADE COLUMN

M-P23b EXTERIOR PAINT FINISH - FACADE SPANDRELS

X-RN1 > EXISTING RENDER - PAINT FINISH

X-GL > EXISTING GLAZING

X-EL4 FXISTING CLADDING TO MOSAIC TILES

X-EL5 EXISTING CORRUGATED WALL CLADDING X-EL6 > EXISTING ALUMINIUM WALL CLADDING

X-CON1 EXISTING PRECAST PANEL

X-EL7 EXISTING FIBRE GLASS FASCIA LINING

X-EL8 EXISTING RIPPLE IRON SOFFIT LINING X-AM1 EXISTING METAL CAPPING

X-SN1 ORIGINAL STONE CLADDING

X-AM2 EXISTING ALUMINIUM LOUVRE X-AM3 EXISTING METAL SCREEN

X-RS1 EXISTING ROOF SHEETING - TYPE 1 X-RS2 EXISTING ROOF SHEETING - TYPE 2

X-RS3 EXISTING ROOF SHEETING - TYPE 3 X-EL1 > EXISTING METAL WALL CLADDING

X-EL2 EXISTING METAL WALL CLADDING M-P24a EXTERIOR PAINT FINISH - EXISTING METAL WALL CLADDING

X-CL1 > ORIGINAL TIMBER SLAT CEILING

X-BN EXISTING BENCHES

X-GR EXISTING GUARDRAILS

#### GENERAL NOTES:

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THI ARCHITECTURAL SPECIFICATIONS.
 ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL

DISCREPANCIES AND SEEK WRITTEN ADVICE PRIOR TO PROC

2. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.
3. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS AT A SMALLER SCALE.
4. ALL EXISTING STRUCTURAL MEMBERS AND FACADE CONSTRUCTION ARE INDICATIVE ONLY. CONTRACTOR IS TO CONFIRM ON SITE EXISTING CONDITION, LEVELS, SIZES AND FIRE RATING TEACTMENT.
5. DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY.
6. ALL DIMENSIONS ARE NOMINAL ONLY. CONTRACTOR TO CONFIRM ALL BULLT AND PROPOSED DIMENSIONS ON SITE PRIOR TO MANUFACTURE OR PREPARING SHOP DRAWINGS.
7. CONTRACTOR IS TO CHECK AND CONFIRM EXISTING CONDITIONS ON SITE, LEVELS, AUGINNEWITS, EXISTING BETAINED STRUCTURE AND ALL OTHER NECESSARY INFORMATION, PRIOR TO COMMENCING ANY WORKS. NOTIFY THE SUPERINTENDENT OF ANY OMISSIONS OR DISCREPANCIES AND SEEK WAITTEN ADVICE PRIOR TO PROCEEDING.

#### FACADES LEGEND:



MONASH MENZIES **REDEVELOPMENT - STAGE 2** MONASH UNIVERSITY CLAYTON CAMPUS

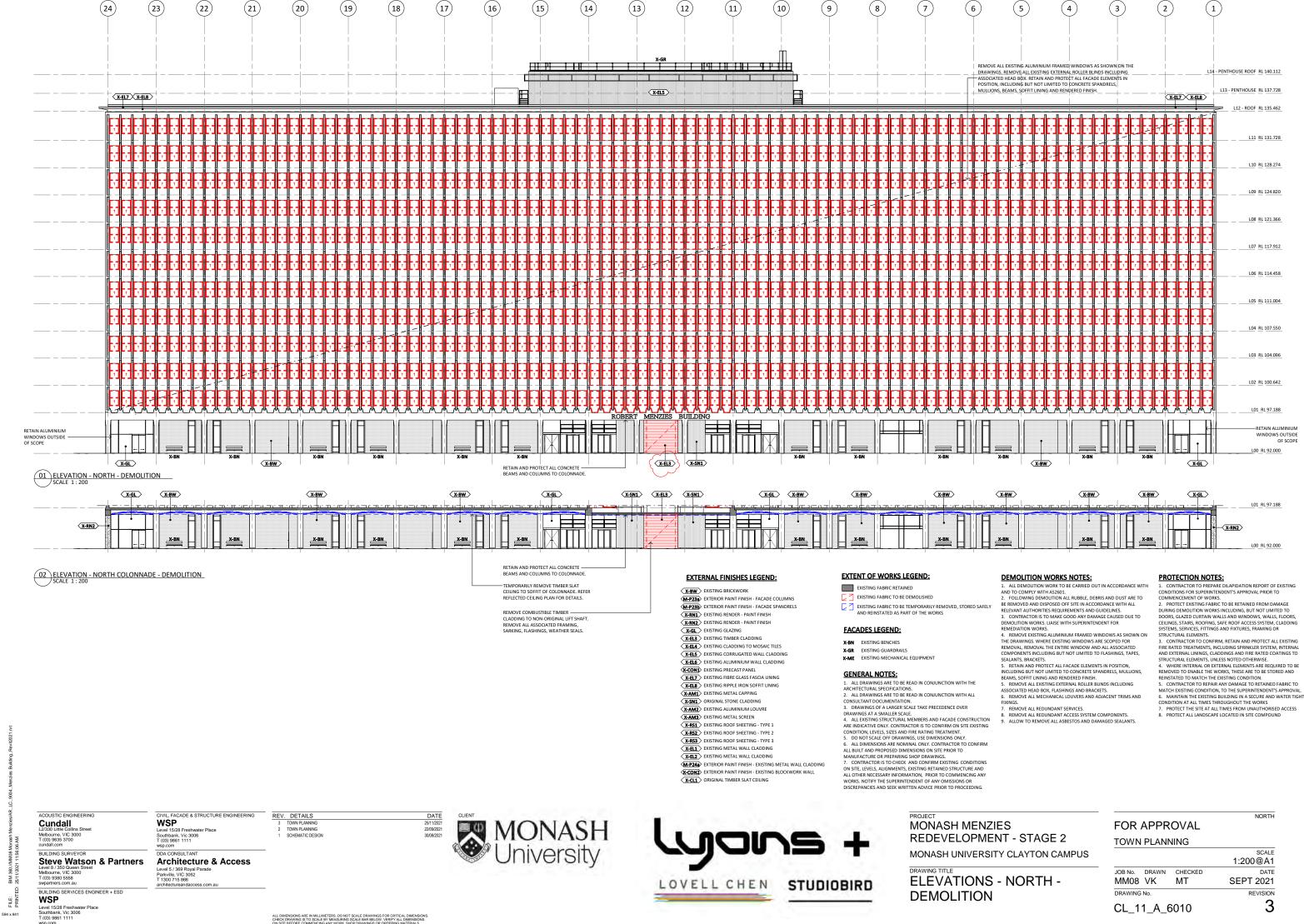
**ELEVATIONS - EAST & WEST** - EXISTING

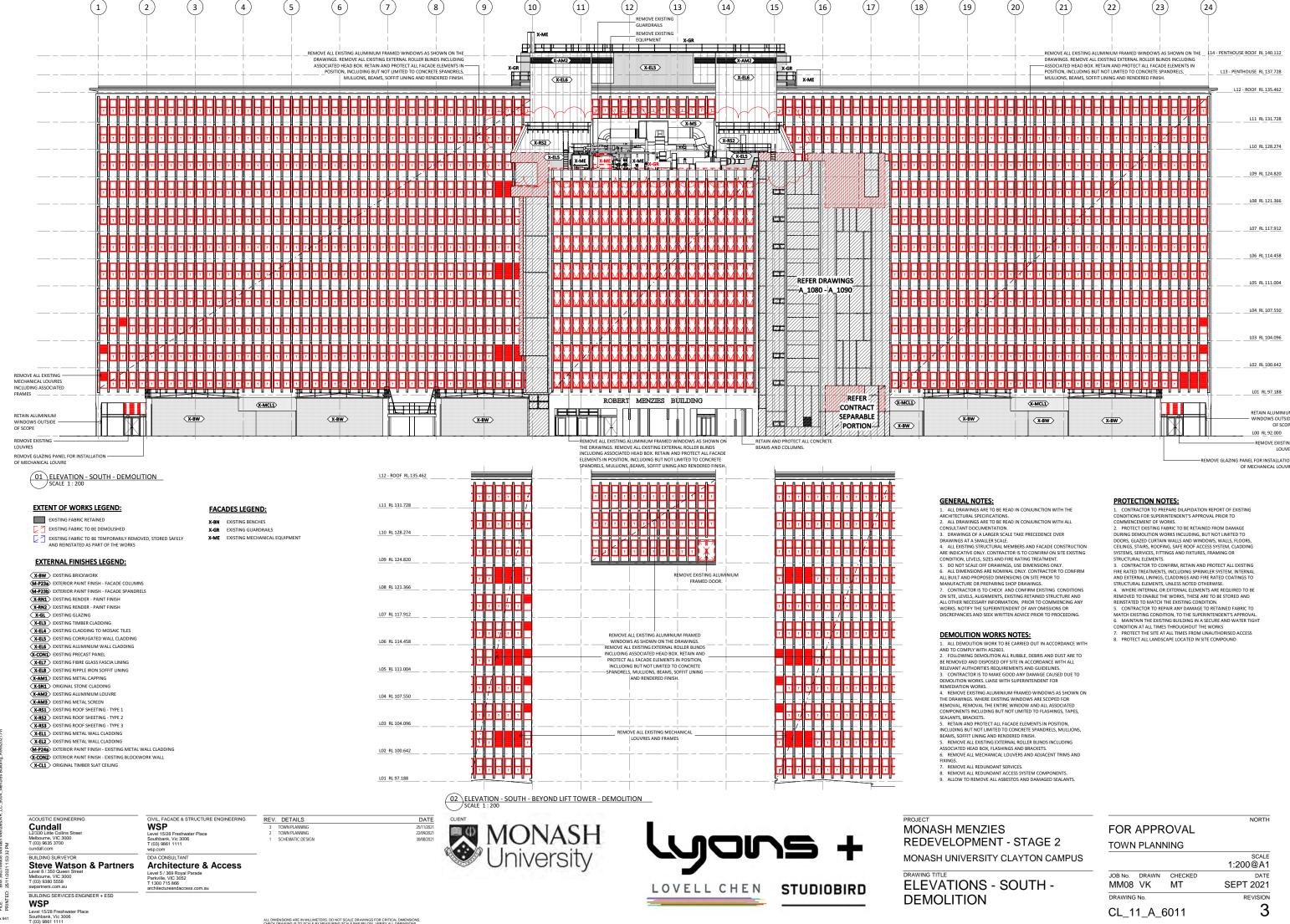
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FOR	APPR		
TOWN	PLAN	NING	
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JOB No. MM08	DRAWN VK	CHECKED MT	SEPT 2021

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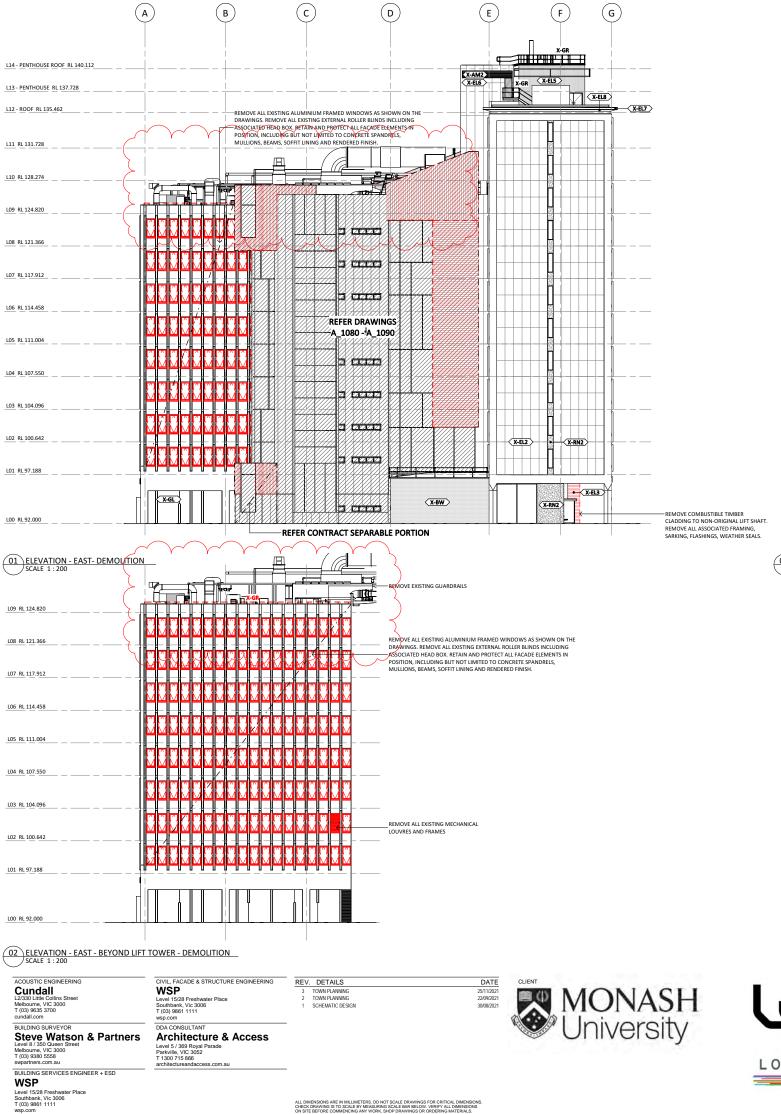
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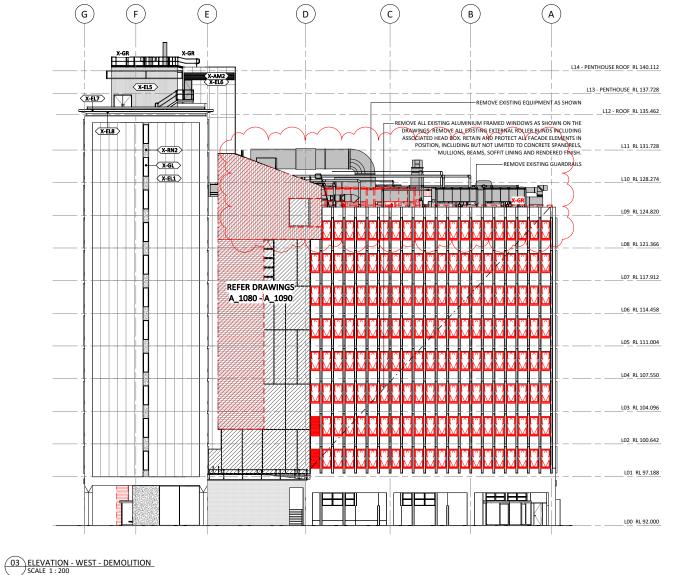
REVISION





A1 594 :





EXTENT OF WORKS LEGEND:

EXISTING FABRIC TO BE DEMOLISHED

☑ EXISTING FABRIC TO BE TEMPORARILY REMOVED, STORED SAFELY AND REINSTATED AS PART OF THE WORKS

**EXTERNAL FINISHES LEGEND:** 

M-P23a> EXTERIOR PAINT FINISH - FACADE COLUMNS

X-RN1 > EXISTING RENDER - PAINT FINISH

X-RN2 EXISTING RENDER - PAINT FINISH X-GL EXISTING GLAZING

X-EL3 EXISTING TIMBER CLADDIN

X-EL4 EXISTING CLADDING TO MOSAIC TILES

X-EL5 EXISTING CORRUGATED WALL CLADDING X-EL6 > EXISTING ALUMINIUM WALL CLADDING

X-CON1 EXISTING PRECAST PANEL

X-EL7 EXISTING FIBRE GLASS FASCIA LINING
X-EL8 EXISTING RIPPLE IRON SOFFIT LINING

X-AM1 EXISTING METAL CAPPING (X-SN1) ORIGINAL STONE CLADDING

X-AM2 EXISTING ALUMINIUM LOUVR

X-AM3 EXISTING METAL SCREEN

X-RS1 EXISTING ROOF SHEETING - TYPE 1

X-RS2 > EXISTING ROOF SHEETING - TYPE 2

X-EL1 > EXISTING METAL WALL CLADDING

M-P24a EXTERIOR PAINT FINISH - EXISTING METAL WALL CLADDING X-CON2 EXTERIOR PAINT FINISH - EXISTING BLOCKWORK WALL

X-CL1 ORIGINAL TIMBER SLAT CEILING

#### **FACADES LEGEND:**

X-GR EXISTING GUARDRAILS X-ME EXISTING MECHANICAL EQUIPMENT

#### **GENERAL NOTES:**

. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATIONS.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL B. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER

DRAWINGS AT A SMALLER SCALE. I. ALL EXISTING STRUCTURAL MEMBERS AND FACADE CONSTRUCTION

ARE INDICATIVE ONLY. CONTRACTOR IS TO CONFIRM ON SITE EXISTING CONDITION, LEVELS, SIZES AND FIRE RATING TREATMENT. DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY

DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY.
 ALL DIMENSIONS AER NOMINAL ONLY. CONTRACTOR TO CONFIRM ALL BUILT AND PROPOSED DIMENSIONS ON SITE PRIOR TO MANUFACTURE OF PREPARING SHOP DRAWINGS.
 CONTRACTOR IS TO CHECK AND CONFIRM EXISTING CONDITIONS ON SITE, LEVELS, ALIGNMENTS, EXISTING RETAINED STRUCTURE AND ALL OTHER NECESSARY INFORMATION, PRIOR TO COMMENCING ANY WORKS. NOTIFY THE SUPERINTENDENT OF ANY OMISSIONS OR DISCREPANCIES AND SEEK WRITTEN ADVICE PRIOR TO PROCEEDING.

#### **DEMOLITION WORKS NOTES:**

ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AND TO COMPLY WITH AS2601.
 FOLLOWING DEMOLITION ALL RUBBLE, DEBRIS AND DUST ARE TO

2. FOLLOWING DEMOLITION ALL RUBBLE, DEBRIS AND DUST ARE TO BE REMOVED AND DISPOSED OFF SITE IN ACCORDANCE WITH ALL RELEVANT AUTHORITIES REQUIREMENTS AND GUIDELINES.

3. CONTRACTOR ISTO MAKE GOOD ANY DAMAGE CAUSED DUE TO DEMOLITION WORKS. LIAISE WITH SUPERINTENDENT FOR REMEDIATION WORKS.

4. REMOVE EXISTING AUMINIUM FRAMED WINDOWS AS SHOWN ON THE DRAWINGS. WHERE EXISTING WINDOWS ARE SCOPED FOR REMOVAL, REMOVAL THE ENTIRE WINDOW AND ALL ASSOCIATED COMPONENTS INCLUDING BUT NOT LIMITED TO FLASHINGS, TAPES, SEALANTS, BRACKETS.

5. RETAIN AND PROTECT ALL FACADE ELEMENTS IN POSITION, INCLUDING BUT NOT LIMITED TO CONCRETE SPANDRELS, MULLIONS, BEAMS, SOFFIT LINING AND RENDERED FINISH.

5. REMOVE, ALL EXISTING EXTERNAL ROLLER BLINDS INCLUDING BEAMS, SOFFIT LINING AND RENDERED FINISH.

5. REMOVE ALL EXISTING EXTERNAL ROLLER BLINDS INCLUDING ASSOCIATED HEAD BOX, FLASHINGS AND BRACKETS.

ASSOCIATED HEAD BOX, FLASHINGS AND BRACKETS.

5. REMOVE ALL MECHANICAL LOUVERS AND ADJACENT TRIMS AND

REMOVE ALL REDUNDANT SERVICES.

REMOVE ALL REDUNDANT ACCESS SYSTEM COMPONENTS.
 ALLOW TO REMOVE ALL ASBESTOS AND DAMAGED SEALANTS.

#### **PROTECTION NOTES:**

CONTRACTOR TO PREPARE DILAPIDATION REPORT OF EXISTING CONDITIONS FOR SUPERINTENDENT'S APPROVAL PRIOR TO

COMMENCEMENT OF WORKS PROTECT EXISTING FABRIC TO BE RETAINED FROM DAMAGE DURING DEMOLITION WORKS INCLUDING, BUT NOT LIMITED TO DOORS, GLAZED CURTAIN WALLS AND WINDOWS, WALLS, FLOORS CEILINGS, STAIRS, ROOFING, SAFE ROOF ACCESS SYSTEM, CLADDING SYSTEMS, SERVICES, FITTINGS AND FIXTURES, FRAMING OR

STRUCTURAL ELEMENTS. . CONTRACTOR TO CONFIRM, RETAIN AND PROTECT ALL EXISTING

FIRE RATED TREATMENTS, INCLUDING SPRINKLER SYSTEM, INTERNAL AND EXTERNAL LININGS, CLADDINGS AND FIRE RATED COATINGS TO STRUCTURAL ELEMENTS, UNLESS NOTED OTHERWISE.

STRUCTURAL ELEMENTS, UNLESS NOTED OTHERWISE.

4. WHERE INTERNAL OR EXTERNAL ELEMENTS ARE REQUIRED TO BE REMOVED TO ENABLE THE WORKS, THESE ARE TO BE STORED AND REINSTATED TO MATCH THE EXISTING CONDITION.

5. CONTRACTOR TO REPAIR ANY DAMAGE TO RETAINED FABRIC TO MATCH REXISTING CONDITION, TO THE SUPERINTENDENT'S APPROVAL.

6. MAINTAIN THE EXISTING BUILDING IN A SECURE AND WATER TIGHT CONDITION AT ALL TIMES THROUGHOUT THE WORKS

7. PROTECT THE SITE AT ALL TIMES FROM UNAUTHORISED ACCESS

8. PROTECT ALL LANDSCAPE LOCATED IN SITE COMPOUND

LOVELL CHEN STUDIOBIRD

MONASH MENZIES REDEVELOPMENT - STAGE 2 MONASH UNIVERSITY CLAYTON CAMPUS

DRAWING TITLE **ELEVATIONS - EAST & WEST** 

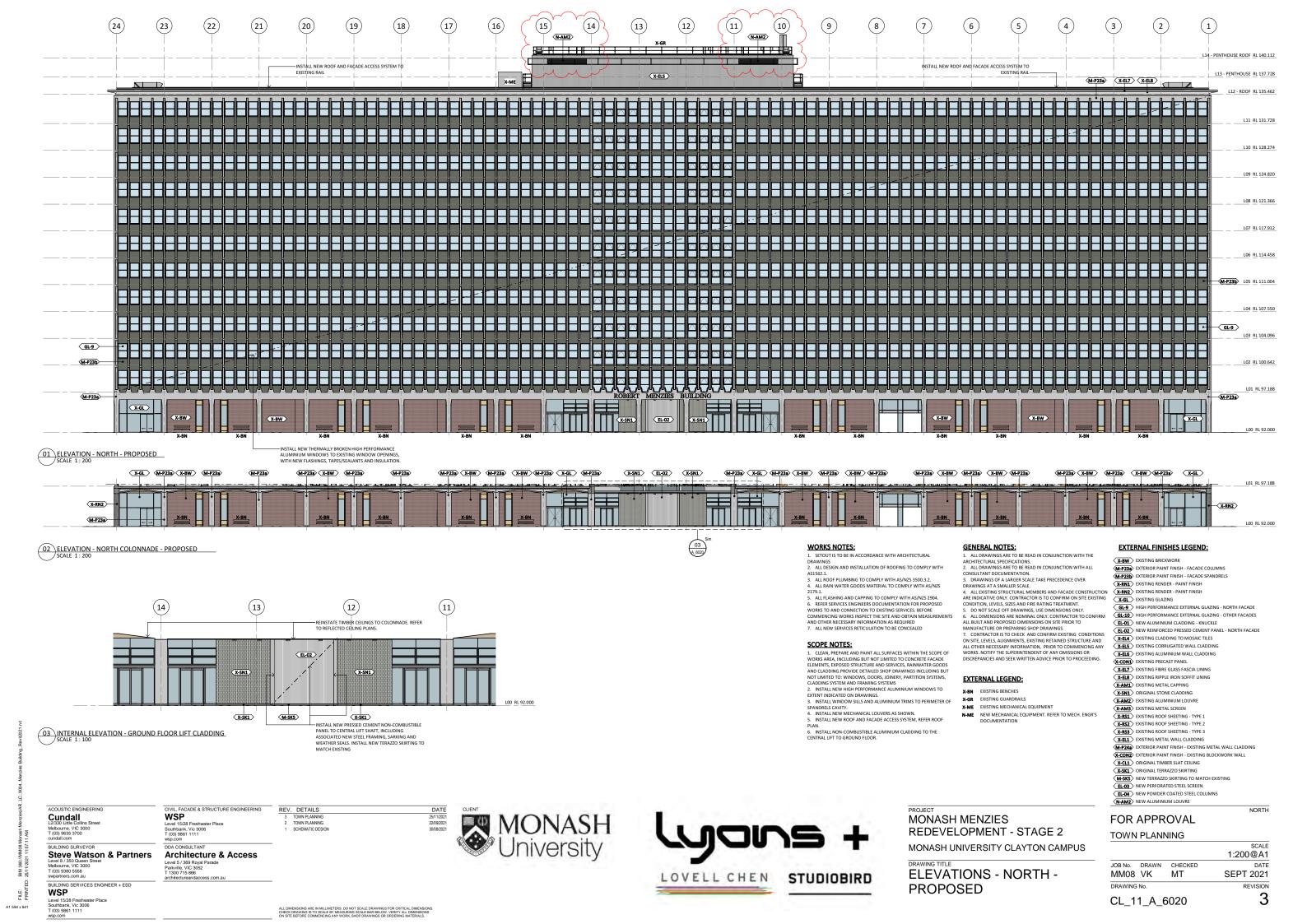
- DEMOLITION

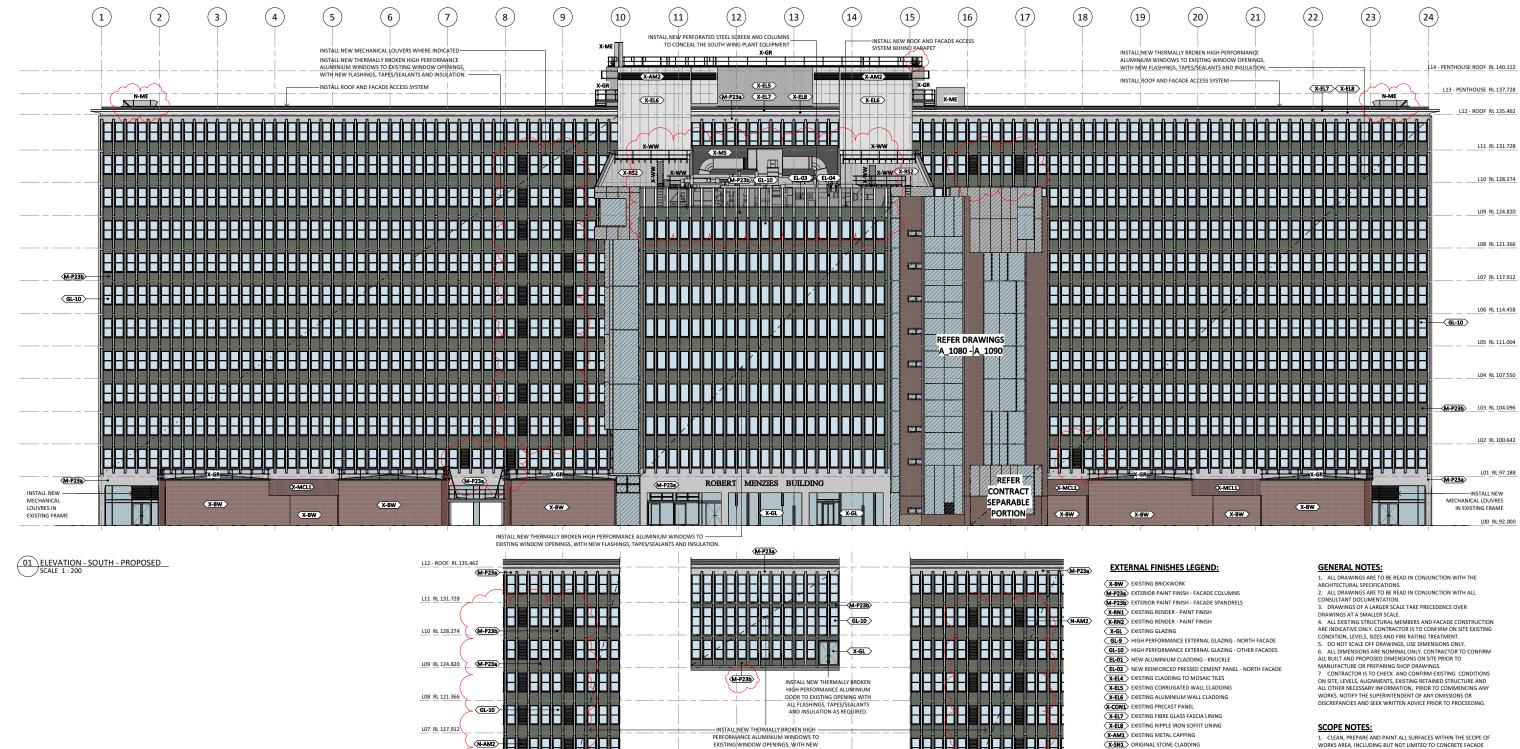
FOR APPROVAL TOWN PLANNING

CL\_11\_A\_6012

SCALE 1:200@A1 JOB No. DRAWN CHECKED **SEPT 2021** MM08 VK MT DRAWING No. REVISION

NORTH





N-AM2 X-AM2 EXISTING ALUMINIUM LOUVRE L06 RL 114.458 X-AM3 EXISTING METAL SCREEN X-RS1 EXISTING ROOF SHEETING - TYPE 1 HEFFFFFF NSTALL NEW MECHANICAL LOUVERS X-RS2 EXISTING ROOF SHEETING - TYPE 2 TO FULL EXTENT OF WINDOW OPENING WHERE INDICATED X-RS3 > EXISTING ROOF SHEETING - TYPE 3 L05 RL 111.004 X-EL1 EXISTING METAL WALL CLADDING M-P24a EXTERIOR PAINT FINISH - EXISTING METAL WALL CLADDING X-CON2 EXTERIOR PAINT FINISH - EXISTING BLOCKWORK WALL X-CL1 ORIGINAL TIMBER SLAT CELLING X-SK1 ORIGINAL TERRAZZO SKIRTING M-SK5 NEW TERRAZZO SKIRTING TO MATCH EXISTING EL-03 NEW PERFORATED STEEL SCREEN L03 RL 104.096 EL-04 NEW POWDER COATED STEEL COLUMNS N-AM2 NEW ALUMINIUM LOUVRE L02 RL 100.642 **EXTERNAL LEGEND:** X-BN EXISTING BENCHES X-GR EXISTING GUARDRAILS X-ME EXISTING MECHANICAL EQUIPMENT

N-ME NEW MECHANICAL EQUIPMENT, REFER TO MECH, ENGR'S

MONASH MENZIES

DRAWING TITLE

**PROPOSED** 

**REDEVELOPMENT - STAGE 2** 

**ELEVATIONS - SOUTH -**

MONASH UNIVERSITY CLAYTON CAMPUS

SCOPE NOTES:

1. CLEAN, PREPARE AND PAINT ALL SURFACES WITHIN THE SCOPE OF WORKS AREA, INCLUDING BUT NOT LIMITED TO CONCRETE FACADE ELEMENTS. EXPOSED STRUCTURE AND SERVICES, RAINWATER GOODS AND CLADDING, PROVIDE DETAILED SHOP DRAWINGS INCLUDING BUT NOT MITTING TO: WINDOWS, DOORS, JOINERY, PARTITION SYSTEMS, CALDDING SYSTEM AND FRAMING SYSTEMS
2. INSTALL NEW HIGH PERFORMANCE ALUMINIUM WINDOWS TO EXTENT INDICATE DO N DRAWINGS.

INSTALL WINDOW SILLS AND ALLIMINIUM TRIMS TO PERIMETER

INSTALL NEW MECHANICAL LOUVERS AS SHOWN.
INSTALL NEW ROOF AND FACADE ACCESS SYSTEM, REFER ROO

INSTALL NON-COMBUSTIBLE ALUMINIUM CLADDING TO THE

CENTRAL LIFT TO GROUND FLOOR

#### WORKS NOTES:

2. ALL NAIN WAITE AND CAPPING TO COMPLY WITH AS/NZ 2904.

5. ALL FLASHING AND CAPPING TO COMPLY WITH AS/NZS 2904.

6. REFER SERVICES ENGINEERS DOCUMENTATION FOR PROPOSE WORKS TO AND CONNECTION TO EXISTING SERVICES. BEFORE COMMENCING WORKS INSPECT THE SITE AND OBTAIN MEASURE AND OTHER NECESSARY INFORMATION AS REQUIRED

7. ALL NEW SERVICES RETICULATION TO BE CONCEALED

## FOR APPROVAL

TOWN PLANNING

SCALE 1:200@A1 JOB No. DRAWN CHECKED DATE **SEPT 2021** MM08 VK MT DRAWING No. REVISION

CL\_11\_A\_6021

Steve Watson & Partners

BUILDING SERVICES WSP Level 15/28 Fresh Southbank, Vic 30 T (03) 9861 1111

Cundall

T (03) 9635 3700

BUILDING SURVEYO

CIVIL FACADE & STRUCTURE ENGINEERING

Architecture & Access

WSP

Level 5 / 369 Royal Pa Parkville, VIC 3052 T 1300 715 866

REV. DETAILS



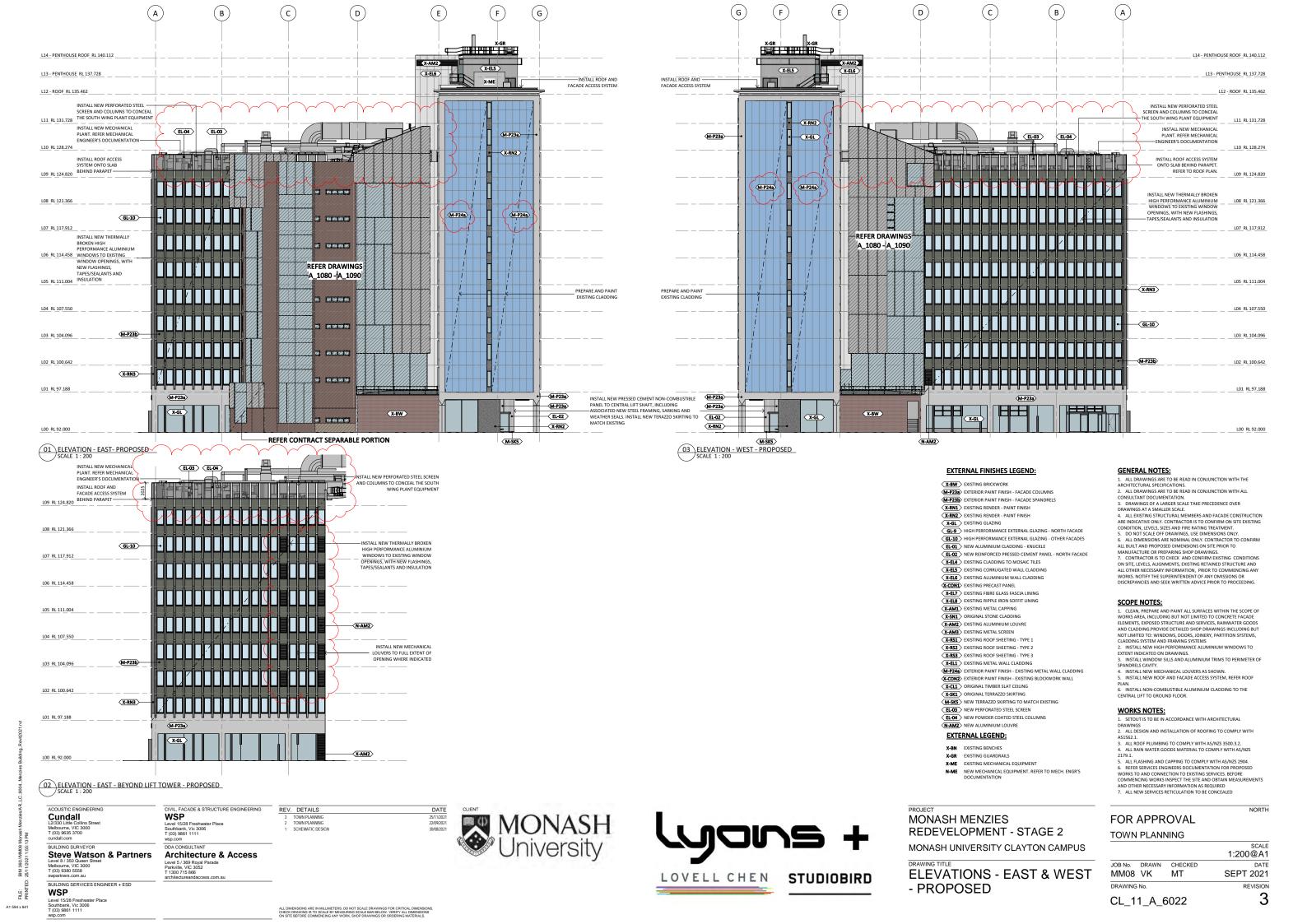
02 ELEVATION - SOUTH - BEYOND LIFT TOWER - PROPOSED SCALE 1:200



STUDIOBIRD

3

NORTH



**GENERAL NOTES:** 

1. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATIONS.

2. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL

CONSULTANT DOCUMENTATION

B. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER

3. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS AT A MALLER SCALE.

4. ALL EXISTING STRUCTURAL MEMBERS AND FACADE CONSTRUCTION ARE INDICATIVE ONLY. CONTRACTOR IS TO CONFIRM ON SITE EXISTING CONDITION, LEVELS, SIZES AND FIRE RATING TREATMENT.

5. DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY.

6. ALL DIMENSIONS ARE NOMINAL ONLY. CONTRACTOR TO CONFIRM ALL BUILT AND PROPOSED DIMENSIONS ON SITE PRIOR TO MANUFACTURE OR PREPARING SHOP DRAWINGS.

7. CONTRACTOR IS TO CHECK AND CONFIRM EXISTING CONDITIONS ON SITE, LEVELS, AUGMNENTS, EXISTING RETAINED STRUCTURE AND ALL OTHER RECESSARY INFORMATION, PRIOR TO COMMENCING ANY WORKS. NOTIFY THE SUPERINTENDENT OF ANY OMISSIONS OR DISCREPANCIES AND SEEK WRITTEN ADVICE PRIOR TO PROCEEDING.

SCOPE NOTES:

1. CLEAN, PREPARE AND PAINT ALL SURFACES WITHIN THE SCOPE OF WORKS AREA, INCLUDING BUT NOT LIMITED TO CONCRETE FACADE ELEMENTS, EXPOSED STRUCTURE AND SERVICES, RAINWATER GOODS AND CLADDING SYSTEM AND FARMING SYSTEMS.

2. INSTALL WINDOWS, DOORS, JOINERY, PARTITION SYSTEMS, CLADDING SYSTEM AND FRAMING SYSTEMS.

3. INSTALL NEW HIGH PERFORMANCE ALLUMINIUM WINDOWS TO EXTENT INDICATED ON DRAWINGS.

3. INSTALL WINDOW SILES AND ALLUMINIUM TRIMS TO PERIMETER OF SPANDRELS CAUTY.

4. INSTALL NEW MCCHANICAL LOUVERS AS SHOWN.

5. INSTALL NEW MCCHANICAL LOUVERS AS SHOWN.

6. INSTALL NEW CHANICAL LOUVERS AS SHOWN.

6. INSTALL NEW TOOF AND FACADE ACCESS SYSTEM, REFER ROOF PLAN.

6. INSTALL NON-COMBUSTIBLE ALUMINIUM CLADDING TO THE CENTRAL LIFT TO GROUND FLOOR.

#### WORKS NOTES:

1. SETOUT IS TO BE IN ACCORDANCE WITH ARCHITECTURAL

2. ALL DESIGN AND INSTALLATION OF ROOFING TO COMPLY WITH

ALL ROOF PLUMBING TO COMPLY WITH AS/NZS 3500.3.2.
 ALL RAIN WATER GOODS MATERIAL TO COMPLY WITH AS/NZS

2.13.1.

5. ALL FLASHING AND CAPPING TO COMPLY WITH AS/NZS 2904.

6. REFER SERVICES ENGINEERS DOCUMENTATION FOR PROPOSED WORKS TO AND CONNECTION TO EMISTING SERVICES. BEFORE COMMENCING WORKS INSPECT THE SITE AND OBTAIN MEASUREMENTS AND OTHER NECESSARY INFORMATION AS REQUIRED 
7. ALL NEW SERVICES RETICULATION TO BE CONCEALED

#### **EXTERNAL FINISHES LEGEND:**

X-BW > EXISTING BRICKWORK

M-P23a EXTERIOR PAINT FINISH - FACADE COLUMNS

(M-P23b) EXTERIOR PAINT FINISH - FACADE SPANDRELS
(X-RN1) EXISTING RENDER - PAINT FINISH

X-RN2 EXISTING RENDER - PAINT FINISH
X-GL EXISTING GLAZING

GL-9 HIGH PERFORMANCE EXTERNAL GLAZING - NORTH FACADE GL-10 HIGH PERFORMANCE EXTERNAL GLAZING - OTHER FACADES

EL-01 NEW ALUMINIUM CLADDING - KNUCKLE

EL-02 NEW REINFORCED PRESSED CEMENT PANEL - NORTH FACADE

X-ELA EXISTING CLADDING TO MOSAIC TILES

X-EL5 > EXISTING CORRUGATED WALL CLADDING

X-EL6 EXISTING ALUMINIUM WALL CLADDING

X-CON1 EXISTING PRECAST PANEL

X-EL7 EXISTING FIBRE GLASS FASCIA LINING

X-EL8 > EXISTING RIPPLE IRON SOFFIT LINING

X-AM1 EXISTING METAL CAPPING

X-SN1 > ORIGINAL STONE CLADDING

X-AM2 EXISTING ALUMINIUM LOUVRE

(X-AM3) EXISTING METAL SCREEN
 (X-RS1) EXISTING ROOF SHEETING - TYPE 1
 (X-RS2) EXISTING ROOF SHEETING - TYPE 2
 (X-RS3) EXISTING ROOF SHEETING - TYPE 3

X-EL1 > EXISTING METAL WALL CLADDING

M-P248 EXTERIOR PAINT FINISH - EXISTING METAL WALL CLADDING X-CON2 EXTERIOR PAINT FINISH - EXISTING BLOCKWORK WALL

X-CL1 > ORIGINAL TIMBER SLAT CEILING

X-SK1 ORIGINAL TERRAZZO SKIRTING

M-SK5 NEW TERRAZZO SKIRTING TO MATCH EXISTING

EL-03 NEW PERFORATED STEEL SCREEN
EL-04 NEW POWDER COATED STEEL COLUMNS

N-AM2 NEW ALUMINIUM LOUVRE

#### **EXTERNAL LEGEND:**

X-BN EXISTING BENCHES X-GR EXISTING GUARDRAILS

X-ME EXISTING MECHANICAL EQUIPMENT

N-ME NEW MECHANICAL EQUIPMENT. REFER TO MECH. ENGR'S DOCUMENTATION

ACOUSTIC ENGINEERING Cundall L2/330 Little Collin

Steve Watson & Partners
Level 8 / 350 Queen Street

BUILDING SERVICES ENGINEER + ESC WSP

CIVIL, FACADE & STRUCTURE ENGINEERING WSP

Architecture & Access Level 5 / 369 Royal Parade Parkville, VIC 3052 T 1300 715 866





MONASH MENZIES REDEVELOPMENT - STAGE 2 MONASH UNIVERSITY CLAYTON CAMPUS

DRAWING TITLE PART NORTH ELEVATION **EAST** 

FOR APPROVAL TOWN PLANNING

SCALE 1:100@A1 JOB No. DRAWN CHECKED DATE SEPT 2021 MM08 VK MT DRAWING No. REVISION

CL\_11\_A\_6023

3

NORTH

A1 594 x 841

Level 15/28 Freshwater Place Southbank, Vic 3006 T (03) 9861 1111

#### **GENERAL NOTES:**

- . ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATIONS
- 2. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
- CONSULTANT DOCUMENTATION . DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER

- DRAWINGS AT A SMALLER SCALE.

  4. ALL EXISTING STRUCTURAL MEMBERS AND FACADE CONSTRUCTION ARE INDICATIVE CONLY. CONTRACTOR IS TO CONFIRM ON SITE EXISTING CONDITION, LEVELS, SIZES AND FIRE RATING TREATMENT.

  5. DO NOT SCALE OF CER PRAYMERS, LEED INVENTIONS CONLY.

- CONDITION, LEVELS, SIZES AND FIRE RATING TREATMENT.

  5. DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY.

  6. ALL DIMENSIONS ARE NOMINAL ONLY. CONTRACTOR TO CONFIRM ALL BUILT AND PROPOSED DIMENSIONS ON SITE PRIOR TO MANUFACTURE OR PREPARING SHOP DRAWINGS.

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- SCOPE NOTES:

  1. CLEAN, PREPARE AND PAINT ALL SURFACES WITHIN THE SCOPE OF WORKS AREA, INCLUDING BUT NOT LIMITED TO CONCRETE FACADE ELEMENTS, EXPOSED STRUCTURE AND SERVICES, RAINWATER GOODS AND CLADDING SPOVIDE DETAILED SHOP DRAWINGS INCLUDING BUT NOT LIMITED TO: WINDOWS, DOORS, JOINERY, PARTITION SYSTEMS, CLADDING SYSTEM AND FRAMING SYSTEMS

  2. INSTALL NEW HIGH PERFORMANCE ALUMINIUM WINDOWS TO EXTENT INDICATED ON DRAWINGS.

  3. INSTALL WINDOW SILES AND ALUMINIUM TRIMS TO PERIMETER OF SPANDRELS CAUTY.

  4. INSTALL NEW MCHANICAL LOUVERS AS SHOWN.

  5. INSTALL NEW MCHANICAL LOUVERS AS SHOWN.

  5. INSTALL NEW MCHANICAL LOUVERS AS SHOWN.

  6. INSTALL NEW MCHANICAL LOUVERS AS CHOSEN SYSTEM, REFER ROOF PLAN.

  6. INSTALL NON-COMBUSTIBLE ALUMINIUM CLADDING TO THE CENTRAL LIFT TO GROUND FLOOR.

#### WORKS NOTES:

- 1. SETOUT IS TO BE IN ACCORDANCE WITH ARCHITECTURAL
- . ALL DESIGN AND INSTALLATION OF ROOFING TO COMPLY WITH
- ALL ROOF PLUMBING TO COMPLY WITH AS/NZS 3500.3.2.
   ALL RAIN WATER GOODS MATERIAL TO COMPLY WITH AS/NZS
- 2.13.1.

  5. ALL FLASHING AND CAPPING TO COMPLY WITH AS/NZS 2904.

  6. REFER SERVICES ENGINEERS DOCUMENTATION FOR PROPOSED WORKS TO AND CONNECTION TO EMISTING SERVICES. BEFORE COMMENCING WORKS INSPECT THE SITE AND OBTAIN MEASUREMENTS AND OTHER NECESSARY INFORMATION AS REQUIRED 7. ALL NEW SERVICES RETICULATION TO BE CONCEALED

#### **EXTERNAL FINISHES LEGEND:**

- Y-RW FXISTING BRICKWORK
- M-P23a EXTERIOR PAINT FINISH FACADE COLUMNS
- (M-P23b) EXTERIOR PAINT FINISH FACADE SPANDRELS
  (X-RN1) EXISTING RENDER PAINT FINISH
- X-RN2 EXISTING RENDER PAINT FINISH
- X-GL EXISTING GLAZING GL-9 HIGH PERFORMANCE EXTERNAL GLAZING - NORTH FACADE
- GL-10 HIGH PERFORMANCE EXTERNAL GLAZING OTHER FACADES
- EL-01 NEW ALUMINIUM CLADDING KNUCKLE
- EL-02 NEW REINFORCED PRESSED CEMENT PANEL NORTH FACADE

  X-ELA EXISTING CLADDING TO MOSAIC TILES
- X-EL5 > EXISTING CORRUGATED WALL CLADDING
- X-EL6 EXISTING ALUMINIUM WALL CLADDING X-CON1 EXISTING PRECAST PANEL
- X-EL7 EXISTING FIBRE GLASS FASCIA LINING
- X-ELB > EXISTING RIPPLE IRON SOFFIT LINING
- X-AM1 EXISTING METAL CAPPING X-SN1 > ORIGINAL STONE CLADDING
- X-AM2 EXISTING ALUMINIUM LOUVRE
- (X-AM3) EXISTING METAL SCREEN
   (X-RS1) EXISTING ROOF SHEETING TYPE 1
   (X-RS2) EXISTING ROOF SHEETING TYPE 2
   (X-RS3) EXISTING ROOF SHEETING TYPE 3
- X-EL1 > EXISTING METAL WALL CLADDING
- M-P24a EXTERIOR PAINT FINISH EXISTING METAL WALL CLADDING
- X-CON2 EXTERIOR PAINT FINISH EXISTING BLOCKWORK WALL X-CL1 > ORIGINAL TIMBER SLAT CEILING
- X-SK1 ORIGINAL TERRAZZO SKIRTING
- M-SK5 NEW TERRAZZO SKIRTING TO MATCH EXISTING
- EL-03 NEW PERFORATED STEEL SCREEN

  EL-04 NEW POWDER COATED STEEL COLUMNS
- N-AM2 NEW ALUMINIUM LOUVRE

### **EXTERNAL LEGEND:**

- X-BN EXISTING BENCHES X-GR EXISTING GUARDRAILS
- X-ME EXISTING MECHANICAL EQUIPMENT
- N-ME NEW MECHANICAL EQUIPMENT. REFER TO MECH. ENGR'S DOCUMENTATION

Cundall L2/330 Little Collin

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Level 8 / 350 Queen Street

BUILDING SERVICES ENGINEER + ESC WSP Level 15/28 Freshwater Place Southbank, Vic 3006 T (03) 9861 1111

CIVIL, FACADE & STRUCTURE ENGINEERING WSP

Architecture & Access

MONASH University



MONASH MENZIES REDEVELOPMENT - STAGE 2 MONASH UNIVERSITY CLAYTON CAMPUS

DRAWING TITLE PART SOUTH ELEVATION **EAST** 

FOR APPROVAL TOWN PLANNING

SCALE 1:100@A1 JOB No. DRAWN CHECKED DATE

SEPT 2021

REVISION

3

NORTH

DRAWING No.

MM08 VK

CL\_11\_A\_6024

MT

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A1 594 x 841

Steve Watson & Partners
Level 8 / 350 Queen Street

BUILDING SERVICES ENGINEER + ESC WSP Level 15/28 Freshwater Place Southbank, Vic 3006 T (03) 9861 1111

CIVIL, FACADE & STRUCTURE ENGINEERING

Architecture & Access Level 5 / 369 Royal Parade Parkville, VIC 3052 T 1300 715 866





MONASH MENZIES REDEVELOPMENT - STAGE 2 MONASH UNIVERSITY CLAYTON CAMPUS

DRAWING TITLE PART SOUTH ELEVATION SOUTH

**GENERAL NOTES:** 

 ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATIONS. 2. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL

CONSULTANT DOCUMENTATION

B. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER

DRAWINGS AT A SMALLER SCALE.

ARE INDICATIVE ONLY. CONTRACTOR IS TO CONFIRM ON SITE EXISTING CONDITION, LEVELS, SIZES AND FIRE RATING TREATMENT.

CONDITION, LEVELS, SIZES AND FIRE RATING TREATMENT.

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#### SCOPE NOTES:

SCOPE NOTES:

1. CLEAN, PEPARE AND PAINT ALL SURFACES WITHIN THE SCOPE OF WORKS AREA, INCLUDING BUT NOT LIMITED TO CONCRETE FACADE ELEMENTS, EXPOSED STRUCTURE AND SERVICES, NAINWATER GOODS AND CLADDING, PROVIDE DETAILED SHOP DRAWINGS INCLUDING BUT NOT LIMITED TO: WINDOWS, DOORS, JOINERY, PARTITION SYSTEMS, CLADDING SYSTEM AND FRAMING SYSTEMS

2. INSTALL NEW HIGH PERFORMANCE ALUMINIUM WINDOWS TO EXTENT INDICATE DO NO PRAWINGS.

3. INSTALL WINDOW SILLS AND ALUMINIUM TRIMS TO PERIMETER OF SPANDRELS CAUTY.

4. INSTALL NEW MECHANICAL LOUVERS AS SHOWN.

5. INSTALL NEW MECHANICAL LOUVERS AS SHOWN.

5. INSTALL NEW MCCHANICAL LOUVERS AS SHOWN.

INSTALL NON-COMBUSTIBLE ALUMINIUM CLADDING TO THE CENTRAL LIFT TO GROUND FLOOR.

#### **WORKS NOTES:**

1. SETOUT IS TO BE IN ACCORDANCE WITH ARCHITECTURAL . ALL DESIGN AND INSTALLATION OF ROOFING TO COMPLY WITH

ALL ROOF PLUMBING TO COMPLY WITH AS/NZS 3500.3.2.
 ALL RAIN WATER GOODS MATERIAL TO COMPLY WITH AS/NZS

AND OTHER NECESSARY INFORMATION AS REQUIRED 7. ALL NEW SERVICES RETICULATION TO BE CONCEALED

#### EXTERNAL FINISHES LEGEND:

X-BW > EXISTING BRICKWORK

M-P23a EXTERIOR PAINT FINISH - FACADE COLUMNS

(M-P23b) EXTERIOR PAINT FINISH - FACADE SPANDRELS
(X-RN1) EXISTING RENDER - PAINT FINISH

X-RN2 EXISTING RENDER - PAINT FINISH

X-GL EXISTING GLAZING

GL-9 HIGH PERFORMANCE EXTERNAL GLAZING - NORTH FACADE GL-10 HIGH PERFORMANCE EXTERNAL GLAZING - OTHER FACADES

EL-01 NEW ALUMINIUM CLADDING - KNUCKLE

EL-02 NEW REINFORCED PRESSED CEMENT PANEL - NORTH FACADI X-EL4 EXISTING CLADDING TO MOSAIC TILES

X-EL5 > EXISTING CORRUGATED WALL CLADDING

X-EL6 EXISTING ALUMINIUM WALL CLADDING

X-CON1 EXISTING PRECAST PANEL

X-ELB > EXISTING RIPPLE IRON SOFFIT LINING

X-AM1 EXISTING METAL CAPPING X-SN1 > ORIGINAL STONE CLADDING

X-AM2 EXISTING ALUMINIUM LOUVRE

(X-AM3) EXISTING METAL SCREEN
 (X-RS1) EXISTING ROOF SHEETING - TYPE 1
 (X-RS2) EXISTING ROOF SHEETING - TYPE 2
 (X-RS3) EXISTING ROOF SHEETING - TYPE 3

X-EL1 > EXISTING METAL WALL CLADDING

M-P248 EXTERIOR PAINT FINISH - EXISTING METAL WALL CLADDING X-CON2 EXTERIOR PAINT FINISH - EXISTING BLOCKWORK WALL

X-CL1 > ORIGINAL TIMBER SLAT CEILING

X-SK1 ORIGINAL TERRAZZO SKIRTING

M-SK5 NEW TERRAZZO SKIRTING TO MATCH EXISTING

EL-03 NEW PERFORATED STEEL SCREEN

EL-04 NEW POWDER COATED STEEL COLUMNS

N-AM2 NEW ALUMINIUM LOUVRE

#### **EXTERNAL LEGEND:**

X-BN EXISTING BENCHES X-GR EXISTING GUARDRAILS

X-ME EXISTING MECHANICAL EQUIPMENT

N-ME NEW MECHANICAL EQUIPMENT. REFER TO MECH. ENGR'S DOCUMENTATION

FOR APPROVAL TOWN PLANNING

SCALE 1:100@A1 DATE

JOB No. DRAWN CHECKED SEPT 2021 MM08 VK MT DRAWING No. REVISION

CL\_11\_A\_6025

NORTH

Cundall L2/330 Little Collin

WSP



WINDOW TYPE A - EXISTING CONDITION PHOTO



WINDOW TYPE H - EXISTING CONDITION PHOTO

WSP

Level 15/28 Freshwater Place

Southbank, Vic 3006 T (03) 9861 1111

DDA CONSULTANT

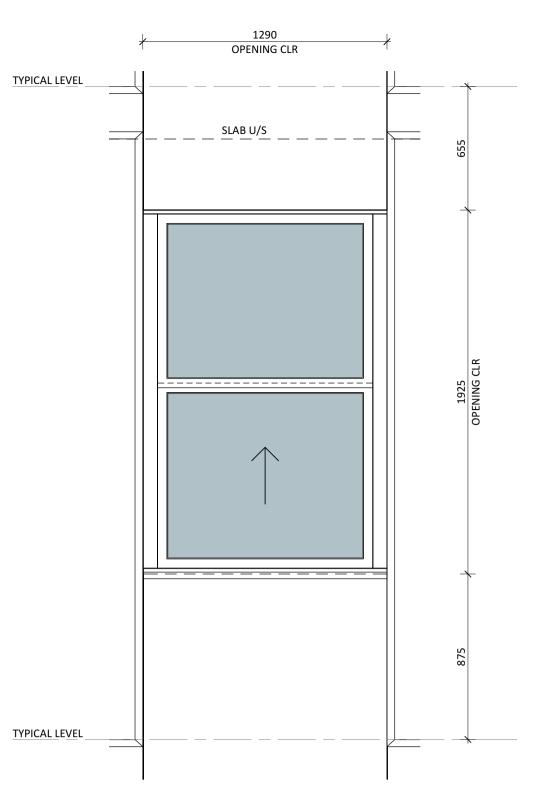
Parkville, VIC 3052

architectureandaccess.com.au

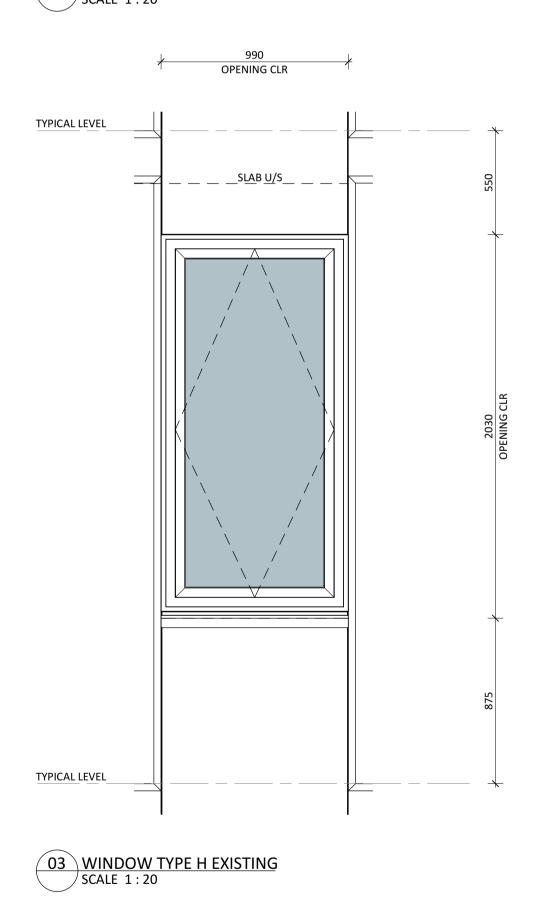
T 1300 715 866

CIVIL, FACADE & STRUCTURE ENGINEERING

Architecture & Access
Level 5 / 369 Royal Parade



01 WINDOW TYPE A EXISTING SCALE 1:20



OPENING CLR
1210
WINDOW

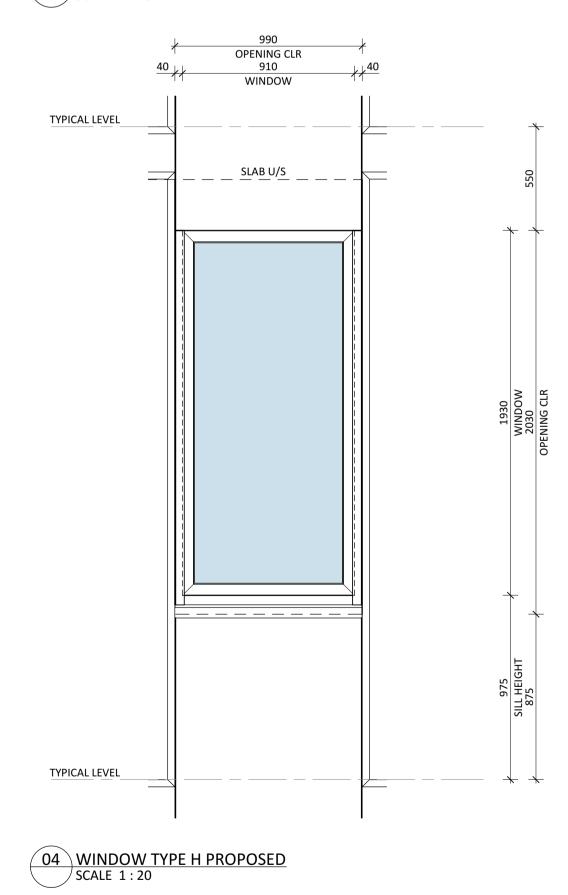
TYPICAL LEVEL

TYPICAL LEVEL

TYPICAL LEVEL

TYPICAL LEVEL

# 02 WINDOW TYPE A PROPOSED SCALE 1:20



REV. DETAILS

1 TOWN PLANNING

22/09/21





MONASH MENZIES
REDEVELOPMENT - STAGE 2
MONASH UNIVERSITY CLAYTON CAMPUS

TYPICAL WINDOW
ELEVATIONS - EXISTING
AND PROPOSED

FOR APPROVAL

DESIGN DEVELOPMENT

SCALE
1:20@A1

JOB No. DRAWN CHECKED DATE

NORTH

MM08 VK MT SEPT 2021

DRAWING No. REVISION

CL\_11\_A\_6040

1

**Steve Watson & Partners** 

ACOUSTIC ENGINEERING

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BUILDING SURVEYOR

Melbourne, VIC 3000

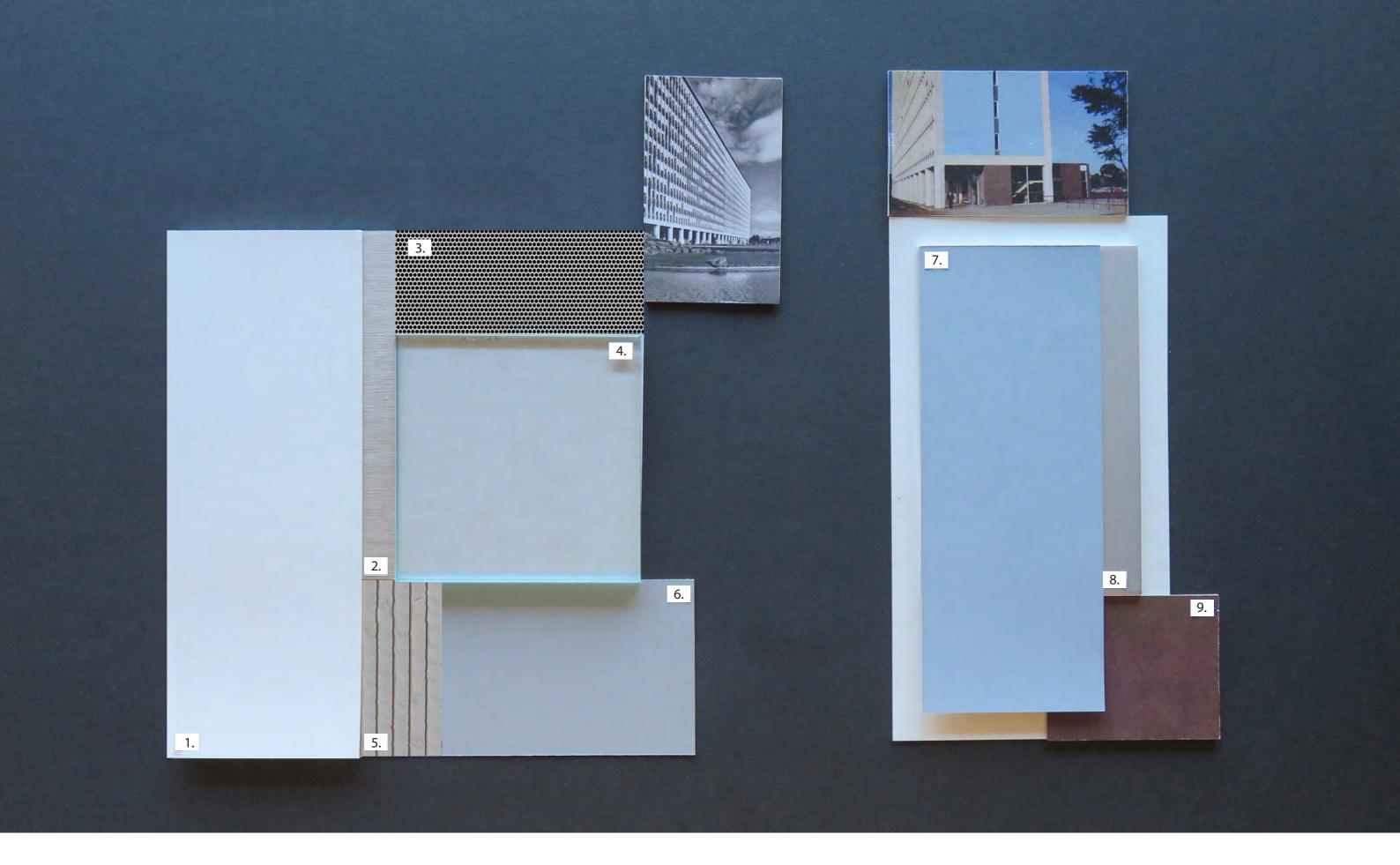
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swpartners.com.au

Cundall

T (03) 9635 3700 cundall.com



# MONASH MENZIES BUILDING REFURBISHMENT

**DATE** : SEPT 2021

**CLIENT**: MONASH UNIVERSITY

**REVISION**:1

### **EXTERNAL FINISHES**

- 1. COLUMNS- DULUX SNOW SEASON QUARTER SN4E1
- 2. NEW WINDOWS- BRUSHED ALUMUNIUM
- 3. NEW PERFORATED STEEL SCREEN
- 4. HIGH PERFORMANCE CLEAR GLAZING

- . REINFORCED PRESSED CEMENT PANEL
- 6. SPANDREL PANELS- DULUX ENDLESS DUSK SN4G3
- 7. EAST & WEST WALLS- DULUX ATOM BLUE P38B3
- 8. EXISTING ALUMINIUM WINDOWS
- 9. EXPOSED BRICK



LEVEL 5, 176 WELLINGTON PARADE
EAST MELBOURNE 3002
AUSTRALIA
TEL +61 (0)3 9667 0800

### **Monash Heritage Study**

#### 1-131 Wellington Road, Clayton North

Monash University, Robert Menzies School of Humanities,

**HO84** 

21-2

Also see **21-1** 

Sheet 1 of 2



Photo: March 1998

**Existing Designations:** 

Heritage Council Register: Nil
National Estate Register: Nil
National Trust Register: Nil

**Description:** The Robert Menzies School of Humanities appears as the largest building on the Monash University campus and is of reinforced concrete construction with pre-cast concrete cladding. T shaped on plan, the first stage consisted of the eastern end of the main north facing wing. It was extended to the west to form what is now the main wing and at a later date a north south wing was provided on the south face. The main wing is twelve storeys in height with a deep recess to the roofline giving definition to the building form. Façade treatment is in green and white pre-cast concrete using shapes that are characteristic of the time. There is a colonnade at the base of the main wing and the end elevations, facing east and west, are metal clad, presumably to make allowance for further expansion should that have been required.

Inside there are escalators conveying people from the ground floor level to level 9. The interior public spaces appear to be substantially intact and representative of office building practices of the day. The lift core is faced with exfoliated green slate. A drop ceiling at the lift doors has a decorative battened treatment, repeated over the colonnade entrance, the floors are finished in patterned vinyl tiles and the floors in some areas are in green terrazzo. The main staircase has open treads with wrought iron balustrade and a varnished timber handrail.

**Condition:** Sound **Integrity:** High

## **Monash Heritage Study**

# 1-131 Wellington Road, Clayton North Monash University, Robert Menzies School of Humanities,

21-2 **HO84** Sheet 2 of 2

History: The 287 acre site for the new Monash University had been obtained by late in 1958 and by

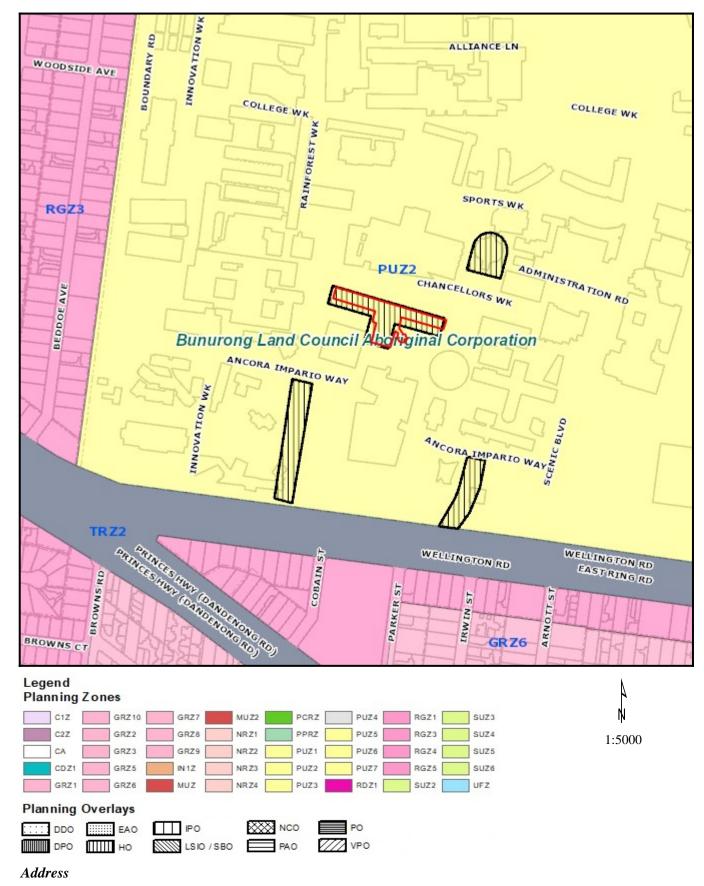
January the following year, Bates Smart and McCutcheon had been appointed architects to prepare a master plan for the site. It was completed by July, 1959 and the first students admitted in 1960. The School of Humanities was designed by architects Eggleston, MacDonald and Secomb, engineering design being undertaken by W.L.Irwin and Associates. The contractor for stage one, completed in 1963, was E.A.Watts Pty. Ltd.
References:
□ <i>Cross-Section</i> , 12/58, 1/59, 7/59, 12/63.
□ Hattwell, W., Wandering around Waverley, 1990, pp.399-401.
Thematic Context: Educating  Establishing schools
<b>Statement of Significance:</b> The Monash University School of Humanites, known colloquially as the "Ming Wing", is historically important as the first landmark building to be erected on the Monash University campus (Criterion A). This importance is enhanced by the fact that the Monash campus was the first University to be established in Victoria outside of the Melbourne University. In this respect, the building demonstrates the growth in demand for higher level education centred on Melbourne's southeastern suburbs experienced late in the 1950's. Although its construction system and appearance are representative of their period (Criterion D) the standard of accommodation was considered at the time to be of the highest standard.
Recommendations:  Recommended for inclusion on the Schedule to the Heritage Overlay.
Assessment: Andrew Ward, March 1998.

Attachment 3: 1-131 Wellington Road, Clayton (Menzies Building)





## Planning Overlays and Zones



1-131 Wellington Road, Clayton (Menzies Building)

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