

7.1.7 TPA/46460 - 23 Terrigal Street Chadstone Extension of Time for the Permit for the construction of three (3) double storey dwellings

Responsible Manager:	Kaitlyn Zeeck, Manager City Planning
Responsible Director:	Peter Panagakos, Director City Development

EXECUTIVE SUMMARY

This application is for an extension of time to Planning permit TPA/46460 for the construction of three (3) double storey dwellings on land at 23 Terrigal Street, Chadstone.

The original permit was issued on 3 January 2017 and condition 1 plans for the development were endorsed on 28 June 2017.

The permit has been extended on three (3) previous occasions. The latest extension of time was granted on 12 January 2023 which allowed for an additional two years to commence the development. The current permit expired on 3 January 2025 as the construction of the development has not commenced.

The reason for presenting this report to Council is that this is the fourth extension of time request sought for this permit, and the period of time sought to extend the permit exceeds six (6) years.

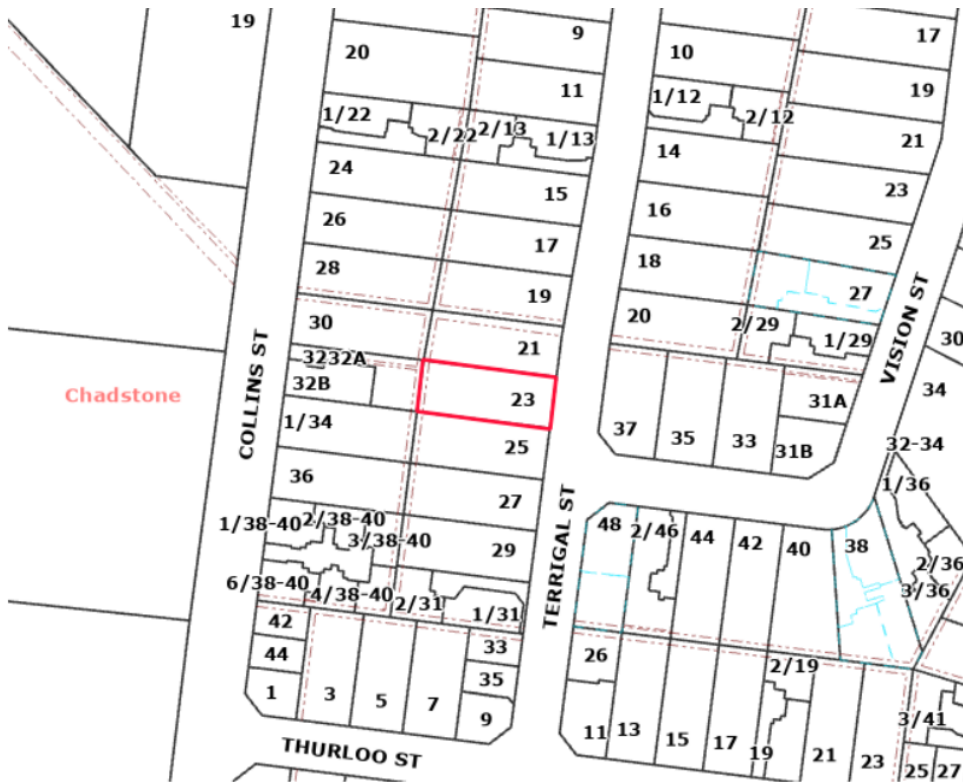
The proposed extension of time is considered consistent with the relevant provisions of the Monash Planning Scheme. It is recommended that an extension of two (2) years be granted to complete the development.

RESPONSIBLE PLANNER:	Melissa Hansford
WARD:	Mayfield
PROPERTY ADDRESS:	23 Terrigal Street Chadstone
ZONING:	General Residential Zone, Schedule 2
OVERLAY:	No Overlays
EXISTING LAND USE:	Site currently occupied by a single storey rendered brick dwelling
RELEVANT LEGISLATION	Section 69 of the <i>Planning & Environment Act 1987</i>
RELEVANT POLICY:	<p><u>Planning Policy Framework</u></p> <p>Clause 11.01-1R - Settlement – Metropolitan Melbourne</p> <p>Clause 11.02-1S - Supply of Urban Land</p> <p>Clause 15.01-1S&R - Urban Design</p> <p>Clause 15.01-2S - Building Design</p> <p>Clause 15.01-4S & R - Healthy Neighbourhoods</p> <p>Clause 15.01-5S - Neighbourhood Character</p>



	<p>Clause 15.01- 5L- Monash Preferred Neighbourhood Character</p> <p>Clause 16.01-1S &R - Housing supply</p> <p>Clause 16.01-2S - Housing affordability</p> <p>Clause 18.01-1S - Land Use and Transport Planning</p> <p>Clause 18.02-2R - Principal Public Transport Network</p> <p><u>Particular Provisions</u></p> <p>Clause 52.06 - Car Parking</p> <p>Clause 53.18 - Stormwater Management in Urban Development</p> <p>Clause 55 - Two or more dwellings on a lot and residential buildings</p> <p>Clause 65 - Decision Guidelines</p>
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LOCALITY PLAN



& NEIGHBOURHOOD PLAN



RECOMMENDATION

That Council resolves to issue an Extension of time to Planning Permit TPA/46460 for the construction of three (3) double storey dwellings at 23 Terrigal Street, Chadstone, pursuant to the provisions of Section 69 (2) of the Planning and Environment Act 1987.

1. That in accordance with Section 69(2) of the Planning and Environment Act 1987, the time for the commencement and completion of the development be extended by a further two (2) years. The development must be commenced by 3 January 2027 completed by 3 January 2029.

COUNCIL PLAN STRATEGIC OBJECTIVES

Sustainable City

Ensure an economically, socially, and environmentally sustainable municipality.

Enhanced Places

Pursue a planning framework that meets Monash needs.

BACKGROUND

Planning Permit TPA/46460 was issued on 3 January 2017 for the construction of three (3) double storey dwellings. The decision to support the proposal was made by Officers under delegated authority.

Condition 1 plans for the development were endorsed on 28 June 2017.

The permit has been extended on three (3) previous occasions, being 14 February 2019, 20 August 2020 and 12 January 2023. The current expiry date for completion of the development was 3 January 2025. The current extension of time request was made on 8 November 2024.

A Secondary Consent amendment proposing minor internal layout alterations, changes to dwelling 3 carport and roof form changes to the garages and porches was approved on 31 May 2024. A landscape plan was also approved at this time.

Attachment 1 includes the endorsed development plans dated 31 May 2024.

Site and Surrounds

The subject is located on the western side of Terrigal Street, Chadstone. The lot is of a regular rectangular shape and has a frontage of 16.15m, a depth of 41.72m and a total area of 673.8 sqm. There is a natural slope in the land of approximately 1.5m from the front of the subject site to the rear.

The site is currently occupied by a single storey rendered brick dwelling.

Terrigal Street runs from north to south, 100m east of a Commercial 1 Zone (C1Z) that accommodates large retail outlets on Warrigal Road now known as Chadstone Village.

Abutting land uses are residential. The built form of the immediate surrounding area can be described as primarily single storey with more recent two storey residential development emerging.

An aerial photograph of the subject site and surrounding land can be found attached to this report (Attachment 2).

Attachment 3 details the zoning and overlays applicable to the subject site and surrounding land.

PROPOSAL

The applicant has requested an extension of a further two years to commence the development. The applicant has requested this additional time as a more recent purchaser of the land. The new owner has recently sought minor amendments to the plans, however, is now experiencing financial difficulties and as such has requested additional time to commence and complete the development.

PERMIT TRIGGERS

Pursuant to the provision of Section 69 (1A) of the *Planning and Environment Act 1987*:

“The owner or occupier of land to which a permit for a development applies, or another person with the written consent of the owner, may ask the responsible authority for an extension of time to complete the development or a stage of the development if—

(a) the request for an extension of time is made within 12 months after the permit expires;

and

(b) the development or stage started lawfully before the permit expired.”

The request was made on 8 November 2024, within twelve (12) months of the permit expiry. Accordingly, Council can consider a further extension to the commencement date for the development under the *Planning and Environment Act 1987*.

ASSESSMENT

The total elapsed time between the date of issue of the permit and the date of the request to extend the permit is eight (8) years.

The Supreme Court decision *Kantor v Murrumbidgee Shire Council (1997)* established the following tests to determine if a permit should be extended:

- Whether there has been a change of planning policy;
- Whether the landowner is seeking to "warehouse" the permit;
- Intervening circumstances bearing on the grant or refusal of the extension;
- The total elapse of time;

- Whether the time limit originally imposed was adequate;
- The economic burden imposed on the landowner by the permit; and
- The probability of a permit issuing should a fresh application be made.

These tests must be considered on balance, meaning that an application does not necessarily need to meet all tests. These tests are considered in detail below.

Whether there has been a change of planning policy

Since the permit was issued there have been significant state, regional and local amendments affecting the land. These changes were considered and assessed as part of the previous requests to extend the planning permit. In summary:

Amendment VC110 gazetted on 27 March 2017 impacts the development with regard to garden area requirements. The changes introduced by Amendment VC110 are mandatory to the consideration of a new development. The development satisfies the Garden Area requirement providing 37% garden area.

Amendment C125 Part 2 was gazetted in November 2019 in which Residential policies (Clause 21.04 and 22.01 now listed as Clause 15.01-5L and 16.01-1L-01) were changed. There was no change in zoning for the land, which remained General Residential Zone, Schedule 2. The development satisfies the requirements of the schedule to the zone and the site remains covered by a vegetation protection overlay.

Whether the land owner is seeking to "warehouse" the permit.

Warehousing is the obtaining of permits with no intention of acting on them in the foreseeable future to obtain a windfall by selling the land.

It is clear that the owner is not seeking to warehouse the Permit given that they recently submitted amended development and landscape plans on 31 May 2024.

Intervening circumstances bearing on the grant or refusal of the extension.

The new owner's of the property have only been in possession of the land for two years. Due to financial implications, the new owners have sought additional time to commence the development.

The total elapse of time.

Eight (8) years have elapsed between the time the planning permit was issued and the current extension of time application being lodged. This is not fatal to the application in isolation, given the broad compliance with current planning policy.

Whether the time limit originally imposed was adequate

The original time limit imposed was two years for commencement and two years to complete, which is a standard condition of approval and considered adequate for this development.

The economic burden imposed on the land owner by the permit.

It is not considered that any conditions of the permit would have placed additional economic burden on the applicant that could have affected the continuation of the construction. The conditions are standard for this sort of development.

It is acknowledged that there would likely be an economic burden on the land owner if the permit was not extended, considering the cost of the works to date and the cost of making a new application should the extension not be supported.

The probability of a permit issuing should a fresh application be made

The application is generally consistent with the changes to policy which have occurred since the issue of the planning permit. Therefore, if a fresh application was made today for the current development, it is likely that a planning permit would be issued.

CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect conflict of interest in this matter.

CONCLUSION

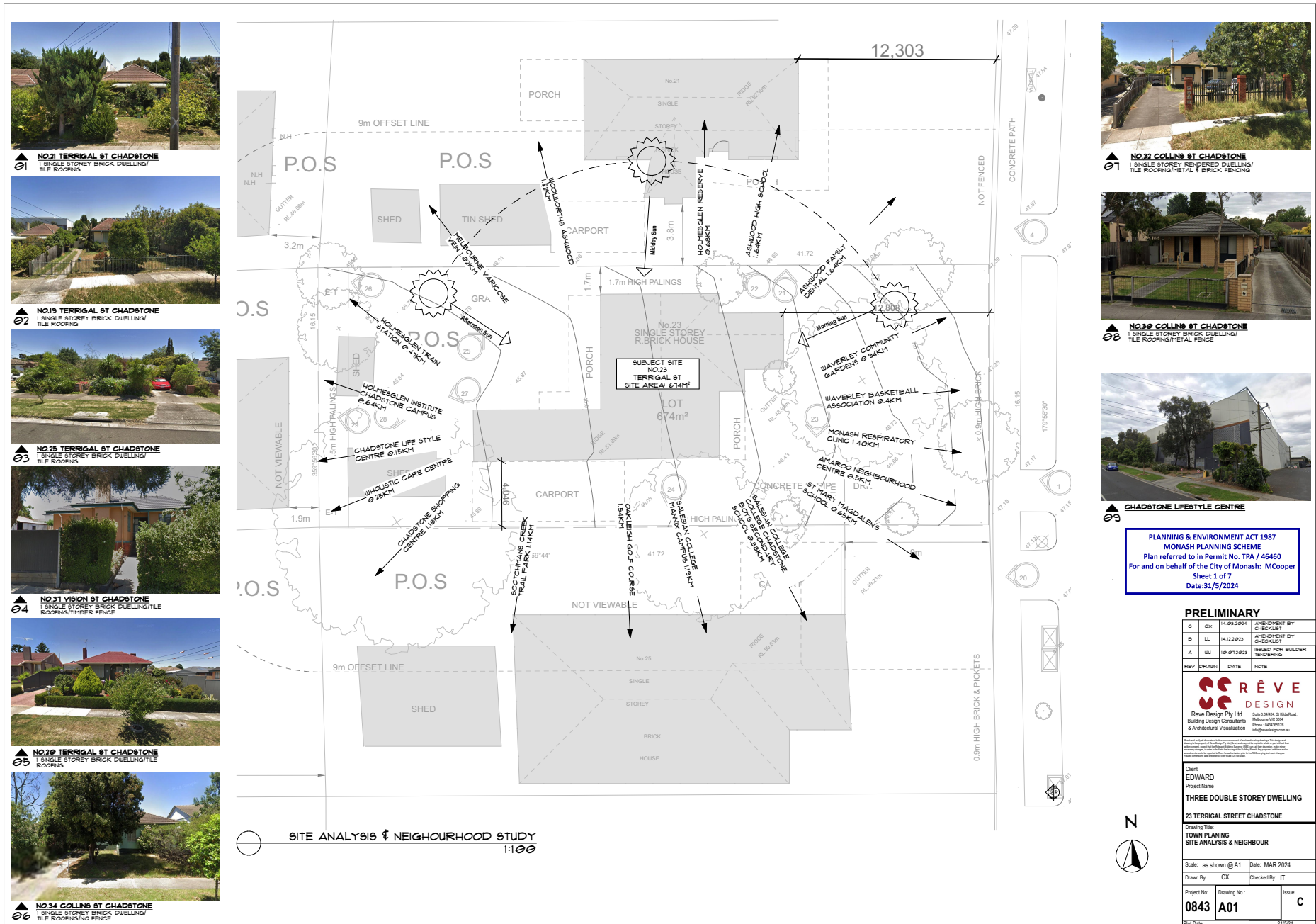
It is considered appropriate to grant a further extension of time for the permit.

The proposal on balance meets the tests established in the Supreme Court decision Kantor v Murrindindi Shire Council (1997). Having regard to all the circumstances, it is recommended that Council approve the extension of time application.

ATTACHMENT LIST

1. Approved Endorsed Secondary Consent Development Plans - 23 Terrigal Street, CHADSTONE [7.1.7.1 - 7 pages]
2. Aerial Photograph - 23 Terrigal Street Chadstone [7.1.7.2 - 1 page]
3. Zoning and Overlays Map - 23 Terrigal Street Chadstone [7.1.7.3 - 1 page]

Attachment 7.1.7.1 Approved Endorsed Secondary Consent Development Plans - 23 Terrigal Street, CHADSTONE



▲ 01 NO.21 TERRIGAL ST CHADSTONE
1 SINGLE STOREY BRICK DWELLING/
TILE ROOFING



▲ 02 NO.19 TERRIGAL ST CHADSTONE
1 SINGLE STOREY BRICK DWELLING/
TILE ROOFING



▲ 03 NO.25 TERRIGAL ST CHADSTONE
1 SINGLE STOREY BRICK DWELLING/
TILE ROOFING



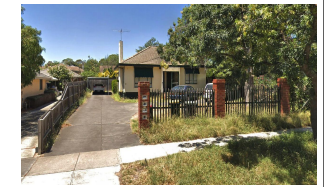
▲ 04 NO.31 VISION ST CHADSTONE
1 SINGLE STOREY BRICK DWELLING/TILE
ROOFING/TIMBER FENCE



▲ 05 NO.29 TERRIGAL ST CHADSTONE
1 SINGLE STOREY BRICK DWELLING/TILE
ROOFING



▲ 06 NO.34 COLLINS ST CHADSTONE
1 SINGLE STOREY BRICK DWELLING/
TILE ROOFING/NO FENCE



▲ 07 NO.32 COLLINS ST CHADSTONE
1 SINGLE STOREY RENDERED DWELLING/
TILE ROOFING/METAL F. BRICK FENCING



▲ 08 NO.30 COLLINS ST CHADSTONE
1 SINGLE STOREY BRICK DWELLING/
TILE ROOFING/METAL FENCE

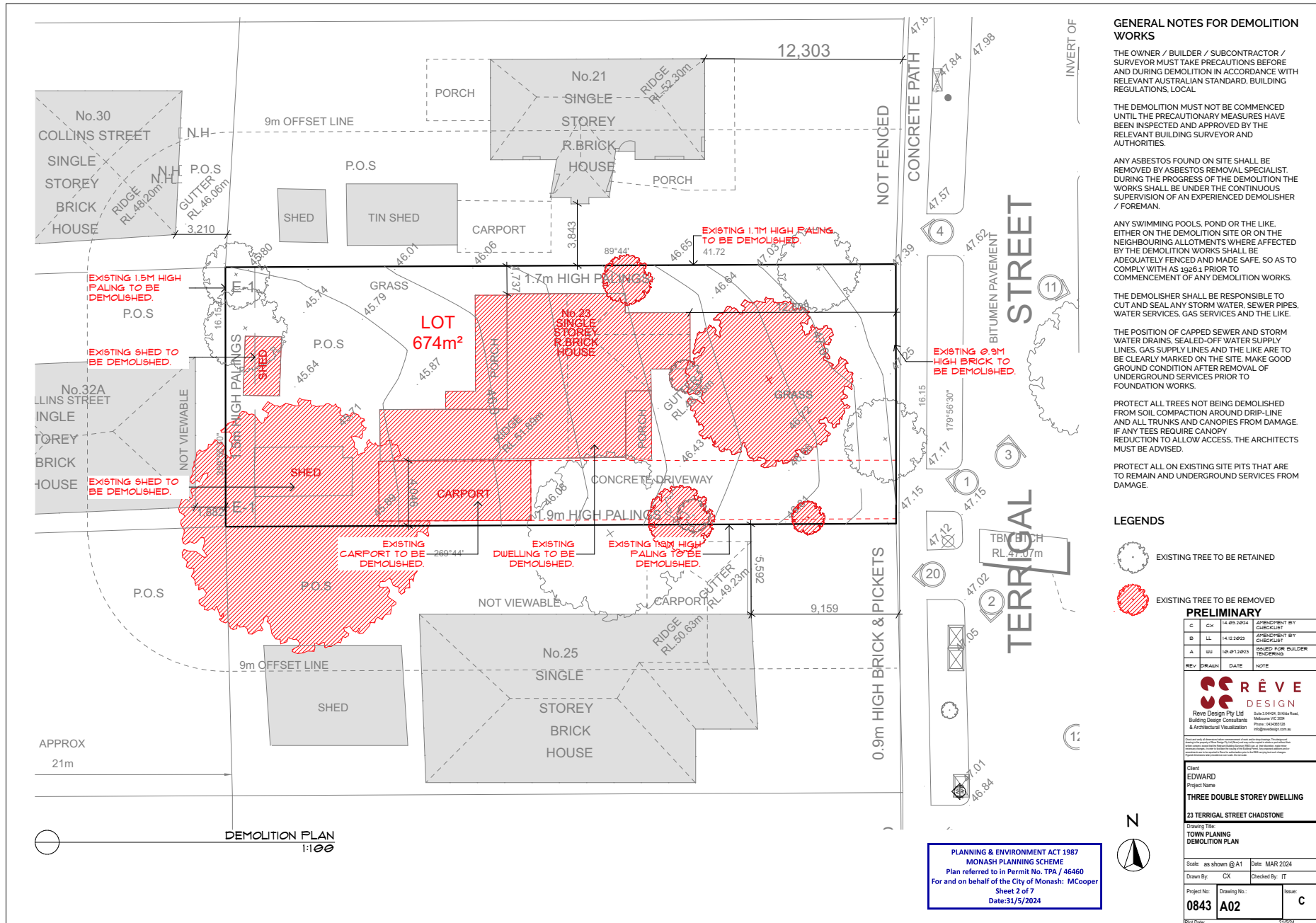


▲ CHADSTONE LIFESTYLE CENTRE

PLANNING & ENVIRONMENT ACT 1987
MONASH PLANNING SCHEME
Plan referred to in Permit No. TPA / 46460
For and on behalf of the City of Monash: MCooper
Sheet 1 of 7
Date:31/5/2024

PRELIMINARY			
C	CX	14.05.2024	APPROVED BY CHECKLIST
B	LL	14.12.2023	APPROVED BY CHECKLIST
A	UU	09.07.2023	SALES FOR BUILDER TENDERING
REV	DR/AN	DATE	NOTE
 Crêve Design Pty Ltd Suite 3, 344-36, Bristow Road, Monash VIC 3104 Phone: 0345222222 info@crivedesign.com.au			
Client: EDWARD			
Project Name: THREE DOUBLE STOREY DWELLING			
23 TERRIGAL STREET CHADSTONE			
Drawing Title: TOWN PLANNING SITE ANALYSIS & NEIGHBOUR			
Scale: as shown @ A1		Date: MAR 2024	
Drawn By: CX		Checked By: IT	
Project No:	Drawing No.:	Issue:	
0843	A01	C	
Proj Date: 2/3/2024			

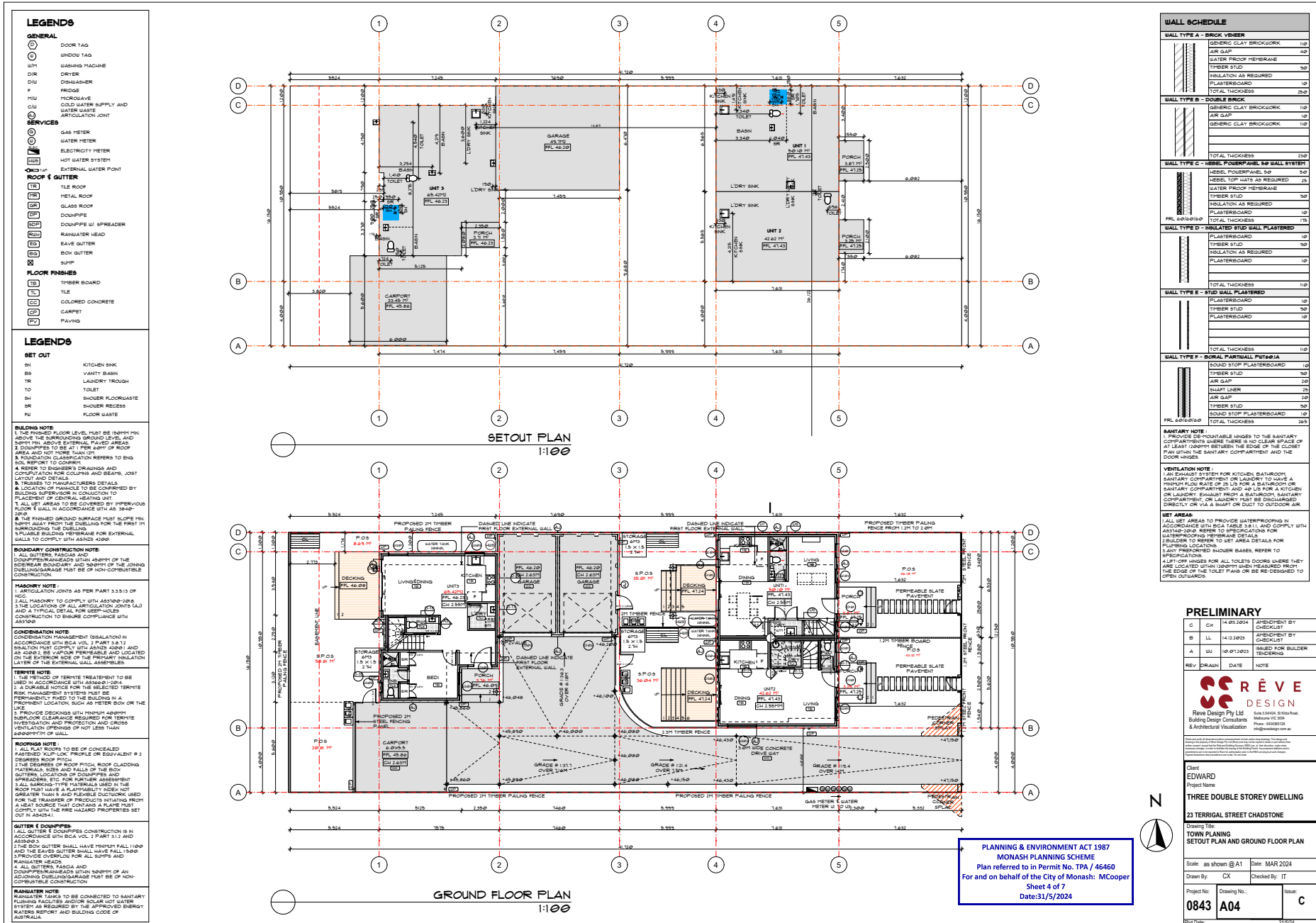
Attachment 7.1.7.1 Approved Endorsed Secondary Consent Development Plans - 23 Terrigal Street, CHADSTONE



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PLANNING & ENVIRONMENT ACT 1987
MONASH PLANNING SCHEME
Plan referred to in Permit No. TPA / 46460
For and on behalf of the City of Monash: MCooper
Sheet 4 of 7
Date: 31/5/2024

WALL SCHEDULE	
WALL TYPE A - BRICK VENEER	GENERIC CLAY BRICKWORK (10)
	AIR GAP (40)
	WATER PROOF MEMBRANE (50)
	INSULATION AS REQUIRED (10)
	PLASTERBOARD (10)
	TOTAL THICKNESS (200)
WALL TYPE B - DOUBLE BRICK	GENERIC CLAY BRICKWORK (10)
	AIR GAP (40)
	GENERIC CLAY BRICKWORK (10)
	TOTAL THICKNESS (250)
WALL TYPE C - HEBEL POWERFLAKE 50 WALL SYSTEM	HEBEL POWERFLAKE 50 (50)
	HEBEL TOP HATS AS REQUIRED (20)
	WATER PROOF MEMBRANE (50)
	INSULATION AS REQUIRED (10)
	PLASTERBOARD (10)
	TOTAL THICKNESS (150)
WALL TYPE D - INSULATED STUD WALL PLASTERED	PLASTERBOARD (10)
	TIMBER STUD (50)
	INSULATION AS REQUIRED (10)
	PLASTERBOARD (10)
	TOTAL THICKNESS (80)
WALL TYPE E - STUD WALL PLASTERED	PLASTERBOARD (10)
	TIMBER STUD (50)
	PLASTERBOARD (10)
	TOTAL THICKNESS (70)
WALL TYPE F - BRICK PARTIAL PUT&GIA	BRICK STUD PLASTERBOARD (10)
	TIMBER STUD (50)
	AIR GAP (20)
	SHAFT LINER (20)
	AIR GAP (20)
	TIMBER STUD (50)
	SOUND STOP PLASTERBOARD (10)
	TOTAL THICKNESS (200)

PRELIMINARY			
C	CX	14.05.2024	APPROVED BY CHECKLIST
B	LL	14.12.2023	APPROVED BY CHECKLIST
A	UU	09.01.2023	SEALED FOR BUILDER TENDERS
REV	DATE	NOTE	

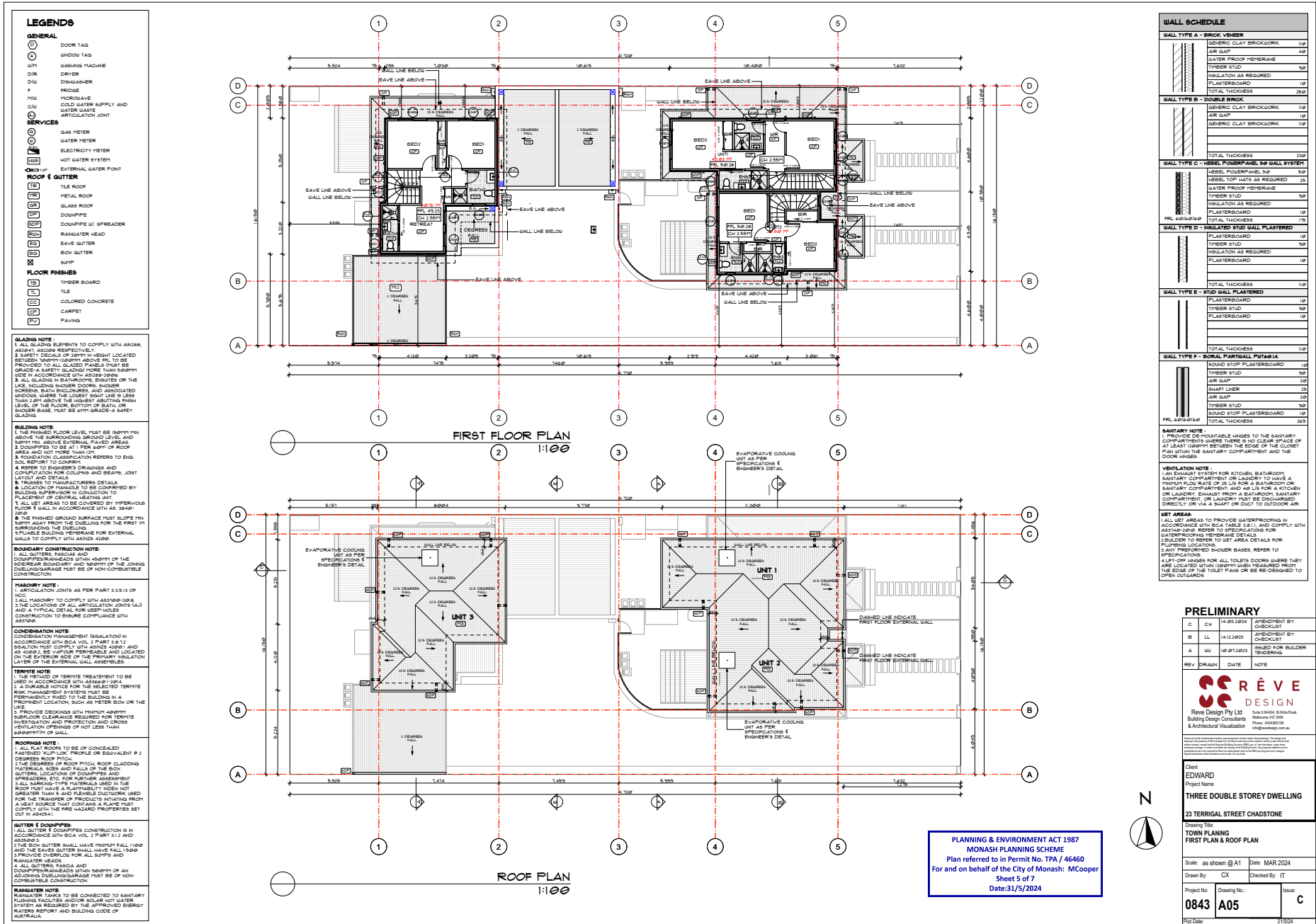
REVE DESIGN
Reve Design Pty Ltd
Building Design Consultants
& Architectural Visualisation

Client: EDWARD
Project Name: THREE DOUBLE STOREY DWELLING
23 TERRIGAL STREET CHADSTONE

Drawing Title: TOWN PLANNING
SETOUT PLAN AND GROUND FLOOR PLAN

Scale: as shown @ A1 Date: MAR 2024
Drawn by: CX Checked by: IT
Project No: 0843 Drawing No: A04 Issue: C
Rev Date: 2/2024

Attachment 7.1.7.1 Approved Endorsed Secondary Consent Development Plans - 23 Terrigal Street, CHADSTONE



LEGENDS

GENERAL

- ⊙ DOOR TAG
- ⊙ WINDOW TAG
- WM WASHING MACHINE
- DRYER
- DRINKER
- FRIDGE
- MW MICROWAVE
- CW COLD WATER SUPPLY AND WATER WASTE ARTICULATION JOINT

SERVICES

- ⊙ GAS METER
- ⊙ WATER METER
- ⊙ ELECTRICITY METER
- ⊙ HOT WATER SYSTEM
- ⊙ EXTERNAL WATER POINT

ROOF & GUTTER

- TR TILE ROOF
- MR METAL ROOF
- GR GLASS ROOF
- DN DOWNPIPE
- DNW DOWNPIPE W/ SPREADER
- RH RAINWATER HEAD
- EG EAVE GUTTER
- BG BOX GUTTER
- ⊙ RAMP

FLOOR FINISHES

- ⊙ TIMBER BOARD
- ⊙ TILE
- ⊙ COLORED CONCRETE
- ⊙ CARPET
- ⊙ PAVING

GLAZING NOTE

1. ALL GLAZING ELEMENTS TO COMPLY WITH AS1288, AS1291, AS1292 RESPECTIVELY.
2. SAFETY DECALS OF 200MM HEIGHT LOCATED BETWEEN SMOOTH GLAZING ABOVE FINL TO BE PROVIDED TO ALL GLAZED PANELS (MUST BE GRADE A SAFETY GLAZING) MORE THAN 900MM HIGH IN ACCORDANCE WITH AS1288-2006.
3. ALL GLAZING IN BATHROOMS, ENTRIES OR THE BATHING AREA MUST BE SHOCK SCREENS, BATH ENCLOSURES AND ASSOCIATED BROOKER, WHERE THE LOWEST FINISH IS LESS THAN 2.0MT ABOVE THE HIGHEST ADJUTING FINISH LEVEL OF THE FLOOR, BOTTOM OF BATH OR SHOWER BASE, MUST BE 60MM GRADE-A SAFETY GLAZING.

BUILDING NOTE

1. THE FINISHED FLOOR LEVEL MUST BE 100MM FIN ABOVE THE SUBGRADING GROUND LEVEL AND 80MM FIN ABOVE THE EXTERNAL PAVED AREAS.
2. COURSEWORK TO BE AT 1 PER 40MM OF ROOF AND NOT MORE THAN 1 PER 100MM.
3. FOUNDATION CLASSIFICATION REFERS TO ENG NOL REPORT TO CONFORM.
4. REFER TO ENGINEER'S DRAINAGE AND COMPUTATION FOR COLUMNS AND BEAMS, JOIST LAYOUT AND DETAILS.
5. REFER TO MANUFACTURERS DETAILS.
6. LOCATION OF PANELS TO BE CONFIRMED BY BUILDING SUPERVISOR IN CONJUNCTION TO PLACEMENT OF CENTRAL HEATING UNIT.
7. ALL UTILITY AREAS TO BE COVERED BY IMPERVIOUS FLOOR & WALL IN ACCORDANCE WITH AS 3439-2019.
8. THE FINISHED GROUND SURFACE MUST SLOPE 1% AWAY FROM THE DWELLING FOR THE FIRST 1M SURROUNDING THE DWELLING.
9. 5 PLIABLE BUILDING HERBERANE FOR EXTERNAL WALLS TO COMPLY WITH AS/NZS 4839.

BOUNDARY CONSTRUCTION NOTE

1. DOWNPIPE/RAINHEADS WITHIN 400MM OF THE BOUNDARY AND 100MM OF THE JOINING DWELLING/GARAGE MUST BE OF NON-COMBUSTIBLE CONSTRUCTION.

MASONRY NOTE

1. ARTICULATION JOINTS AS PER PART 3.3.3.13 OF NCC.
2. ALL MASONRY TO COMPLY WITH AS3700-2018.
3. THE LOCATION OF ALL ARTICULATION JOINTS (AJ) AND TYPICAL DETAIL FOR USE IN HIGH RISK AREAS TO ENSURE COMPLIANCE WITH AS3700.

CONDENSATION NOTE

1. CONDENSATION MANAGEMENT (SALUTATION) IN ACCORDANCE WITH BCA VOL 2 PART 3.8.1.2. SALUTATION MUST COMPLY WITH AS/NZS 4839-2018 AND AS 4200-18. VAPOUR PERMEABLE AND LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF THE EXTERNAL WALL ASSEMBLY.

TERMITE NOTE

1. THE METHOD OF TERMITE TREATMENT TO BE USED IN ACCORDANCE WITH AS/NZS 4354-1:2014.
2. A DETAILED NOTICE FOR THE SELECTED TERMITE RISK MANAGEMENT SYSTEM MUST BE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT LOCATION, SUCH AS METER BOX OR THE LIKE.
3. THROUGH DRILLINGS WITH MINIMUM 400MM SURROUND CLEARANCE REQUIRED FOR TERMITE INJECTION AND PROTECTION AND GARDEN VENTILATION OPENINGS OF NOT LESS THAN 60MM MINIMUM OF WALL.

ROOFING NOTE

1. ALL FLAT ROOFS TO BE OF CONCEALED FASTENED RAFTER PROFILE OR EQUIVALENT # 2 DEGREES ROOF PITCH.
2. THE DEGREES OF ROOF PITCH, ROOF CLADDING MATERIALS, ROOF RIDGE AND FALLS OF ROOF, GUTTERS, LOCATIONS OF DOWNPIPES AND SPREADERS ETC. TO BE CONFIRMED BY ARCHITECT.
3. ALL BARKING-TYPE MATERIALS USED IN THE ROOF MUST HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5 AND FLEXIBLE OUTWORK USED FOR THE TRANSFER OF PRODUCTS INITIATING FROM A HEAT SOURCE THAT CONTAINS A FLAME MUST COMPLY WITH THE FINE LAMMAD PROPERTIES SET OUT IN AS4284-1.

GUTTER & DOWNPIPE

1. ALL GUTTERS & DOWNPIPES CONSTRUCTION IS IN ACCORDANCE WITH BCA VOL 2 PART 3.12 AND AS3700-3.
2. THE BOX GUTTER SHALL HAVE MINIMUM FALL 1:100 AND THE EAVE GUTTER SHALL HAVE FALL 1:500.
3. PROVIDE OVERHEAD FOR ALL DOWNPIPES AND RAINWATER HEADS.
4. ALL GUTTERS, RAINWATER HEADS AND DOWNPIPES/RAINHEADS WITHIN 400MM OF AN ADJOINING DWELLING/GARAGE MUST BE OF NON-COMBUSTIBLE CONSTRUCTION.

RAINWATER NOTE

1. RAINWATER TANKS TO BE CONNECTED TO SANITARY PLUMBING FACILITY AND/OR HOUSEHOLD WATER SYSTEM AS REQUIRED BY THE APPROVED ENERGY RATINGS REPORT AND BUILDING CODE OF AUSTRALIA.

WALL SCHEDULE

WALL TYPE A - BRICK VENER

GENERIC CLAY BRICKWORK	110
AIR GAP	40
WATER PROOF HERBERANE	10
TIMBER STUD	50
INSULATION AS REQUIRED	10
PLASTERBOARD	120
TOTAL THICKNESS	250

WALL TYPE B - DOUBLE BRICK

GENERIC CLAY BRICKWORK	110
AIR GAP	40
GENERIC CLAY BRICKWORK	110
TOTAL THICKNESS	250

WALL TYPE C - HEBEL POWERFLAKE 50 WALL SYSTEM

HEBEL POWERFLAKE 50	50
HEBEL TOP HATS AS REQUIRED	20
WATER PROOF HERBERANE	10
TIMBER STUD	50
INSULATION AS REQUIRED	10
PLASTERBOARD	120
TOTAL THICKNESS	170

WALL TYPE D - INSULATED STUD WALL PLASTERED

PLASTERBOARD	120
TIMBER STUD	50
INSULATION AS REQUIRED	10
PLASTERBOARD	120
TOTAL THICKNESS	110

WALL TYPE E - STUD WALL PLASTERED

PLASTERBOARD	120
TIMBER STUD	50
PLASTERBOARD	120
TOTAL THICKNESS	110

WALL TYPE F - BRICK PARTIAL FINISH

BOUND STOP PLASTERBOARD	120
TIMBER STUD	50
AIR GAP	20
SHAFT LINER	20
AIR GAP	20
TIMBER STUD	50
BOUND STOP PLASTERBOARD	120
TOTAL THICKNESS	260

SANITARY NOTE

1. PROVIDE 6" SQUARE METAL HINGES TO THE SANITARY COMPARTMENTS WHERE THERE IS NO CLEAR SPACE OF AT LEAST 100MM BETWEEN THE EDGE OF THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE DOOR HINGES.

VENTILATION NOTE

1. AN EXHAUST SYSTEM FOR KITCHEN, BATHROOMS, SANITARY COMPARTMENT OR LAUNDRY TO HAVE A MINIMUM FLOW RATE OF 15 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND 40 L/S FOR A KITCHEN OR LAUNDRY. EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHUNT PIPE DUCT TO OUTDOOR AIR.

BET AREAS

1. BET AREAS TO PROVIDE WATERPROOFING IN ACCORDANCE WITH BCA TABLE 3.8.11.11, AND COMPLY WITH AS/NZS 4839-2018 REFER TO SPECIFICATIONS FOR WATERPROOFING HERBERANE DETAILS.
2. REFER TO REFER TO GET AREA DETAILS FOR FLOORING LOCATIONS.
3. ANY PRE-FORMED SHOWER BASES, REFER TO SPECIFICATIONS.
4. LEFT-OFF HINGES FOR ALL TOILET DOORS WHERE THEY ARE LOCATED IN BATHROOMS MUST BE REMOVED FROM THE EDGE OF THE TOILET PAN OR BE RE-DESIGNED TO OPEN OUTWARDS.

PRELIMINARY

C	CX	14.05.2024	APPROVED BY CHECKLIST
B	LL	14.12.2023	APPROVED BY CHECKLIST
A	UU	10.01.2023	SEALED FOR BUILDER TENDERS
REV	NO	DATE	NOTE

REVÊ DESIGN

Revê Design Pty Ltd
 Building Design Consultants
 & Architectural Visualisation

14/05/2024
 14/12/2023
 10/01/2023

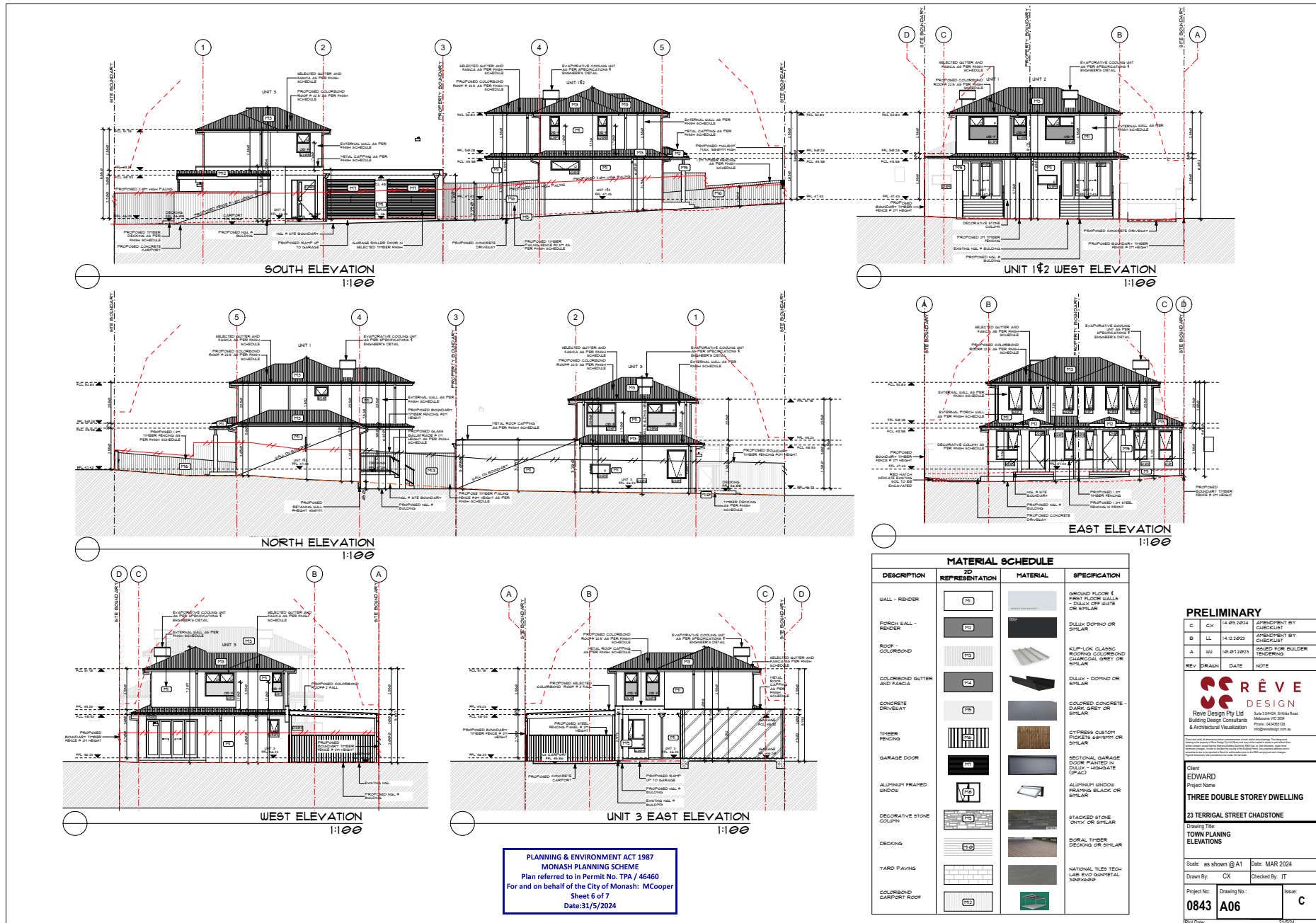
Client: EDWARD
 Project Name: THREE DOUBLE STOREY DWELLING
 23 TERRIGAL STREET CHADSTONE

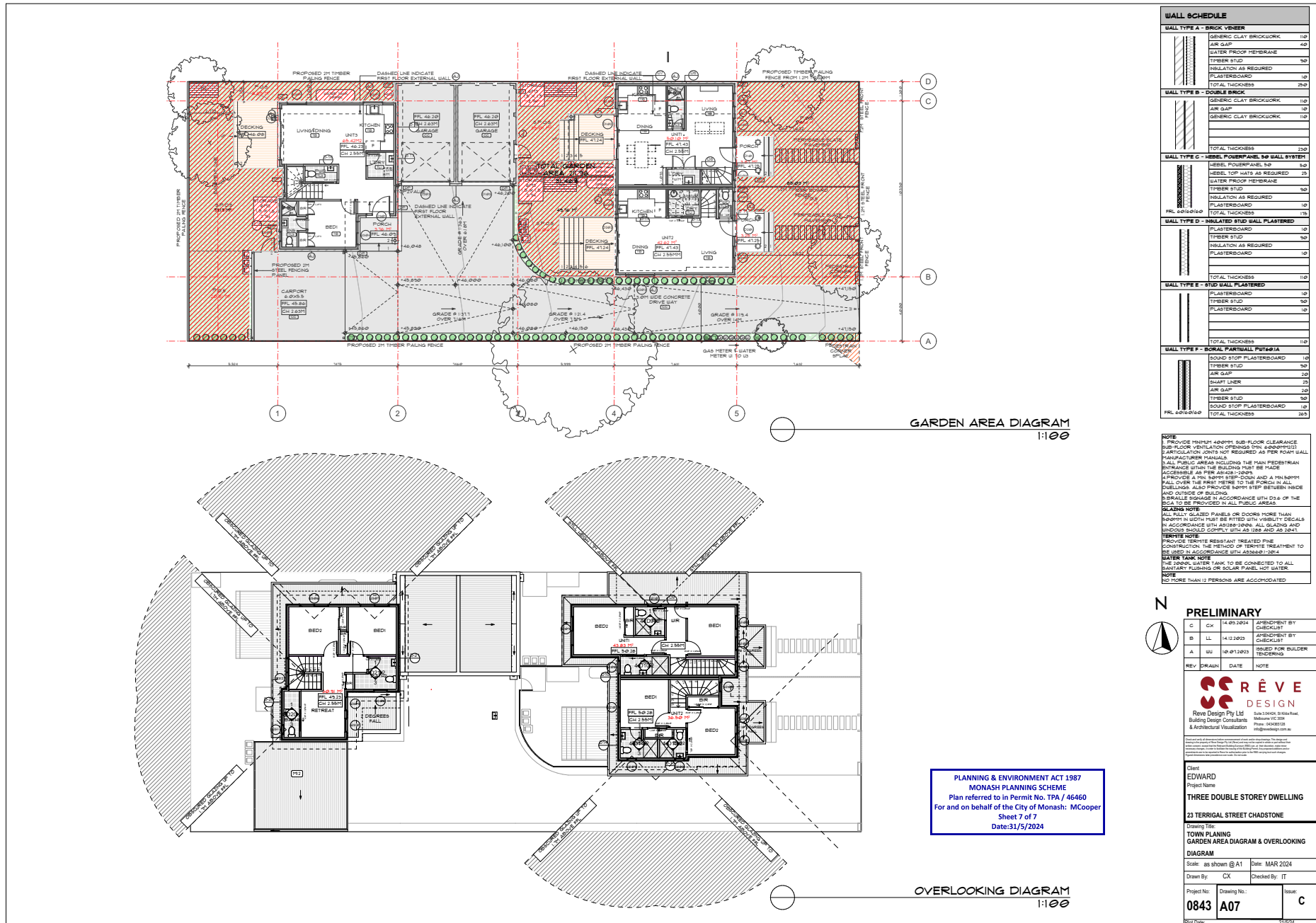
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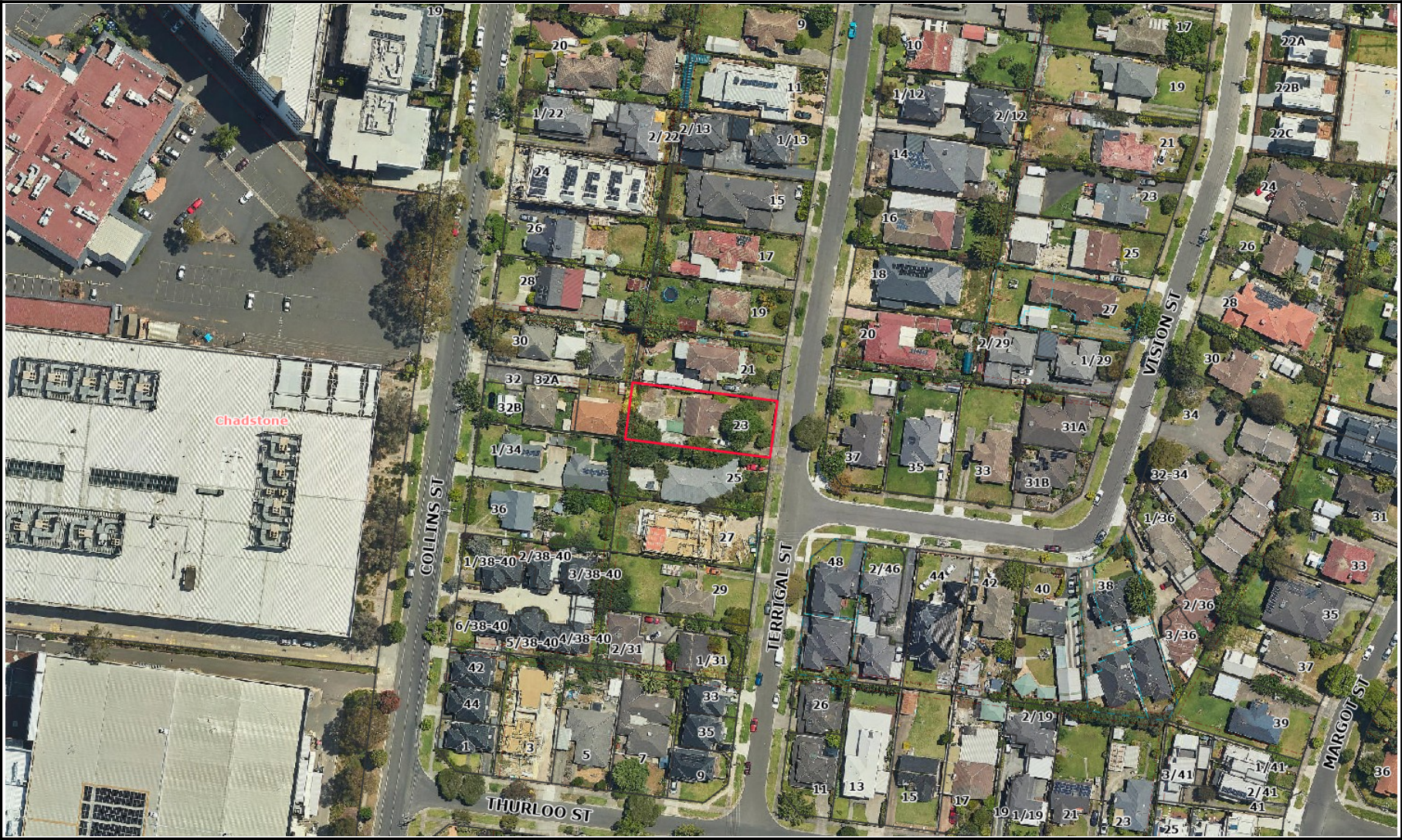
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Drawn By:	CX	Checked By:	IT
Project No:	0843	Drawing No.:	A05
Issue:			C
Rev Date:			2/2024

PLANNING & ENVIRONMENT ACT 1987
 MONASH PLANNING SCHEME
 Plan referred to in Permit No. TPA / 46460
 For and on behalf of the City of Monash: MCooper
 Sheet 5 of 7
 Date: 31/5/2024

Attachment 7.1.7.1 Approved Endorsed Secondary Consent Development Plans - 23 Terrigal Street, CHADSTONE

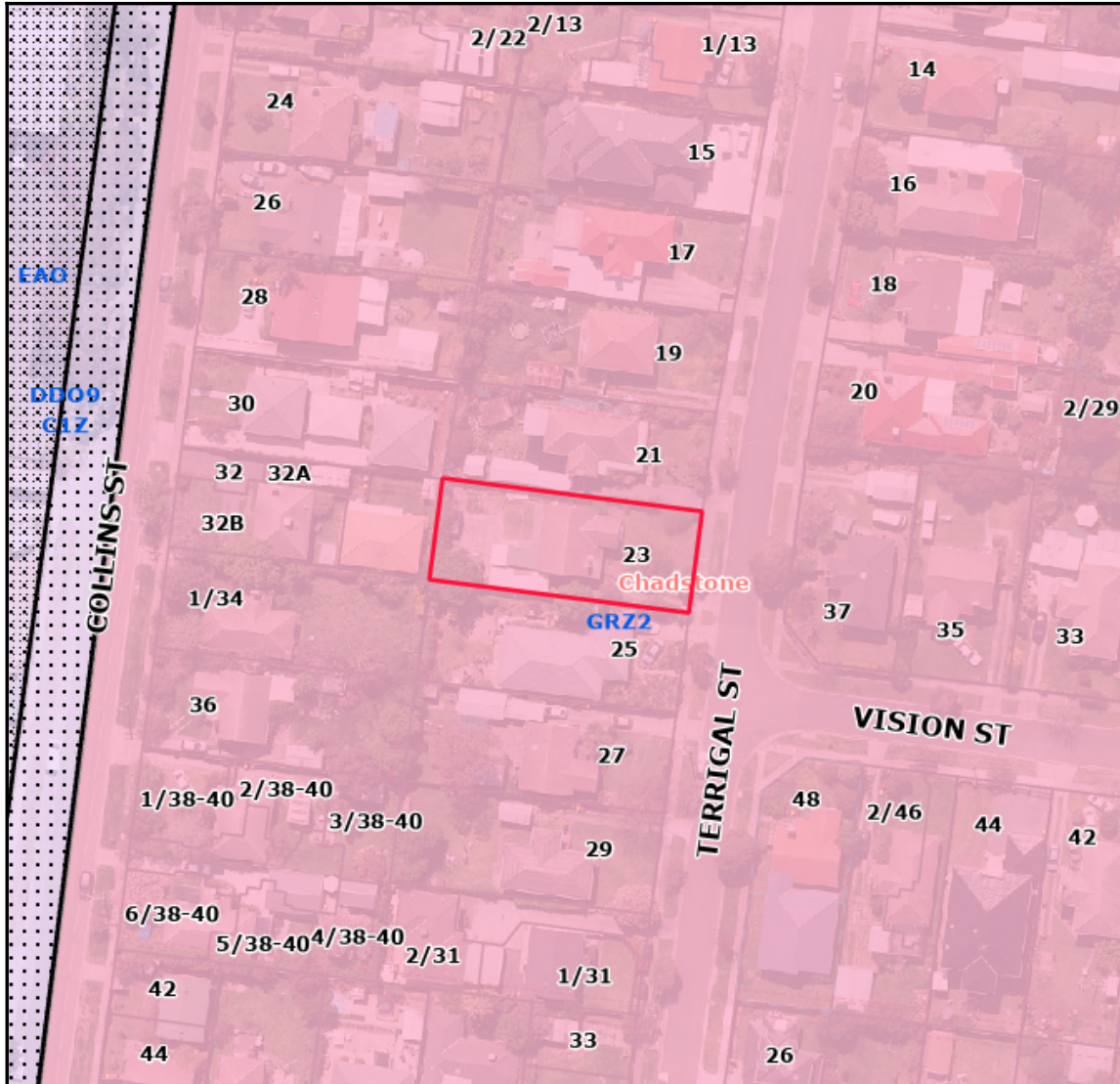








Planning Overlays and Zones



Legend

Planning Zones

C1Z	GRZ10	GRZ7	MUZ2	PCRZ	PUZ4	RGZ1	SUZ3
C2Z	GRZ2	GRZ8	NRZ1	PPRZ	PUZ5	RGZ3	SUZ4
CA	GRZ3	GRZ9	NRZ2	PUZ1	PUZ6	RGZ4	SUZ5
CDZ1	GRZ5	IN1Z	NRZ3	PUZ2	PUZ7	RGZ5	SUZ6
GRZ1	GRZ6	MUZ	NRZ4	PUZ3	RDZ1	SUZ2	UFZ

Planning Overlays

DDO	EAO	IPO	NCO	PO
DPO	HO	LSIO / SBO	PAO	VPO

Address

23 Terrigal Street CHADSTONE VIC 3148

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