



150 Ø CONCRETE MAIN SEWER PIPE, 2.49m AVE. DEPTH
0.99m OFFSET NORTH FROM ADJOINING NORTH PROPERTY BOUNDARY
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION

150 Ø CONCRETE MAIN SEWER PIPE
2.39m AVE. DEPTH - OFFSET UNKNOWN
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION

100 Ø VC MAIN SEWER PIPE, 2.31m AVE. DEPTH
1.14m OFFSET NORTH FROM NORTH BOUNDARY
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION

100 Ø DRAINAGE PIPE (MATERIAL, DEPTH & OFFSET UNKNOWN)
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION

150 Ø DRAINAGE PIPE (MATERIAL, DEPTH & OFFSET UNKNOWN)
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION

NOTE: ALL LEVELS ARE TO A.H.D

EXISTING SPOT LEVELS
TEL TELECOMMUNICATIONS PIT
STIP SEWER TIE IN POINT
HW ADJOINING HABITABLE WINDOW
F/W ADJOINING FROSTED WINDOW

D ADJOINING DOOR
T.O.G TOP OF GUTTER
T.O.W TOP OF WALL
CL CLOTHES LINE
POS PRIVATE OPEN SPACE
SPOS SECLUDED PRIVATE OPEN SPACE
PB POST BOX

EXISTING ADJOINING / STREET TREES
EXISTING ON-SITE TREES TO BE REMOVED
SELECTED COLOURED CONCRETE DRIVEWAY/ PATH

LEGAL POINT OF DISCHARGE

No. 1 MONTROSE STREET
THE LEGAL POINT OF DISCHARGE IS TO THE SOUTH-EAST BOUNDARY OF THE PROPERTY.

ACCURATE DEPTH AND OFFSET OF THE DRAIN TO BE CONFIRMED ON SITE.
REFER TO LPOD INFO FOR MORE INFORMATION.

No. 3 MONTROSE STREET
THE LEGAL POINT OF DISCHARGE IS TO THE SOUTH-EAST BOUNDARY OF THE PROPERTY.

ACCURATE DEPTH AND OFFSET OF THE DRAIN TO BE CONFIRMED ON SITE.
REFER TO LPOD INFO FOR MORE INFORMATION.

PEDESTRIAN VISIBILITY SPAY NOTE
PEDESTRIAN VISIBILITY SPAYS OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTION (OR WITH A HEIGHT OF LESS THAN 1.2m) EXTENDING AT LEAST 2.0 METERS LONG X 2.5 METRES DEEP (WITHIN THE PROPERTY) ON BOTH SIDES OF EACH VEHICLE CROSSING TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE.



UPGRADE OR RELOCATE PIT TO LOCAL AUTHORITY REQUIREMENTS

T.B.M. RIVET IN TOP OF KERB RL 56.79m

T.B.M. RIVET IN TOP OF KERB RL 57.18m

MONTROSE STREET

WARRIGAL ROAD

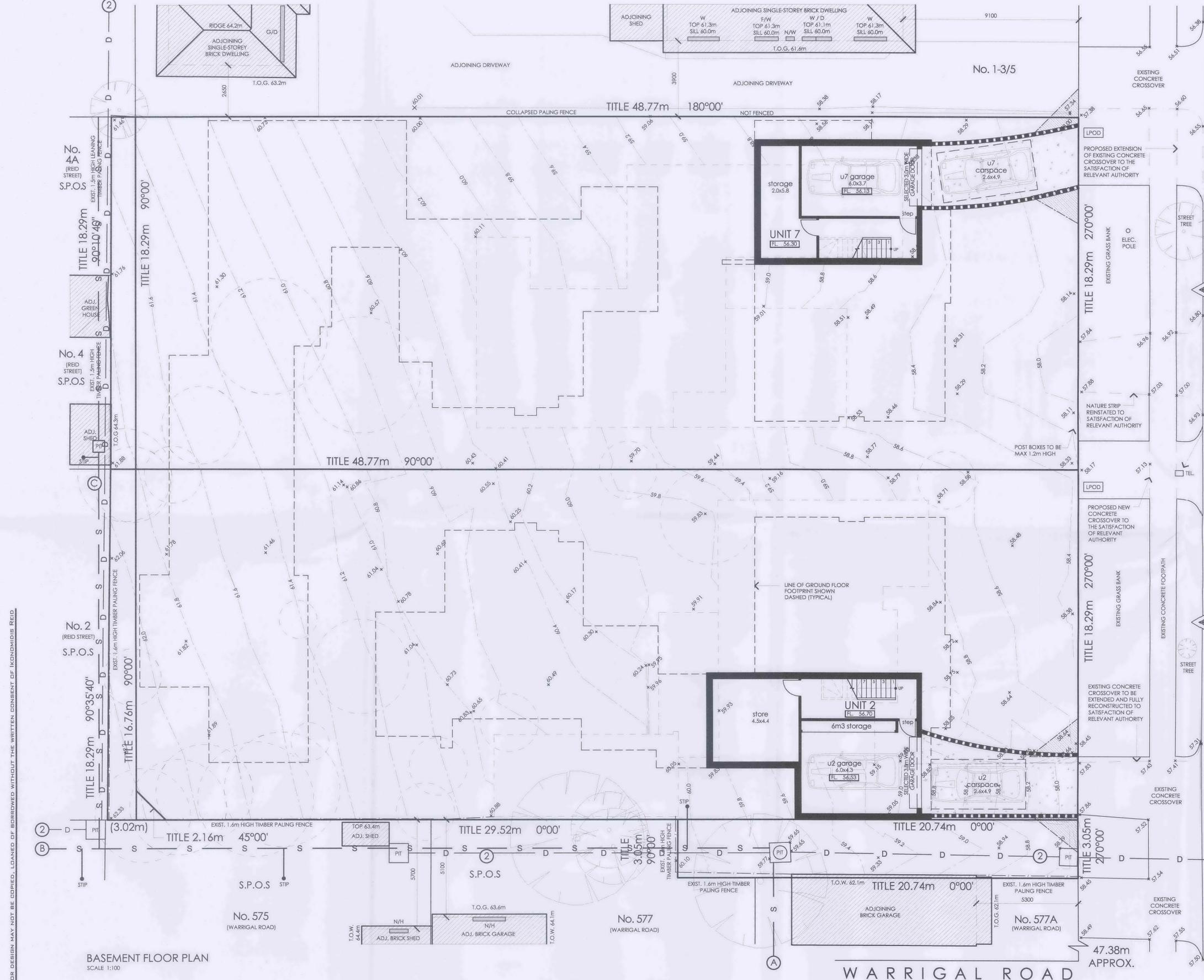
47.38m APPROX.

BASEMENT FLOOR PLAN

SCALE 1:100

PLANNING & ENVIRONMENT ACT 1987
MONASH PLANNING SCHEME
Plan referred to in Permit No. TPA / 47319
For and on behalf of the City of Monash: MEDwards
Sheet 1 of 4
Date:30/04/2020

MULTI UNIT DEVELOPMENT
1 & 3 MONTROSE STREET
ASHWOOD
BASEMENT FLOOR PLAN



IKONOMIDIS REID
architecture + development solutions
713 PLENTY ROAD RESERVOIR 3073 EMAIL: ADMIN@IKONREID.COM.AU
PH. 94782836 FX. 94782034

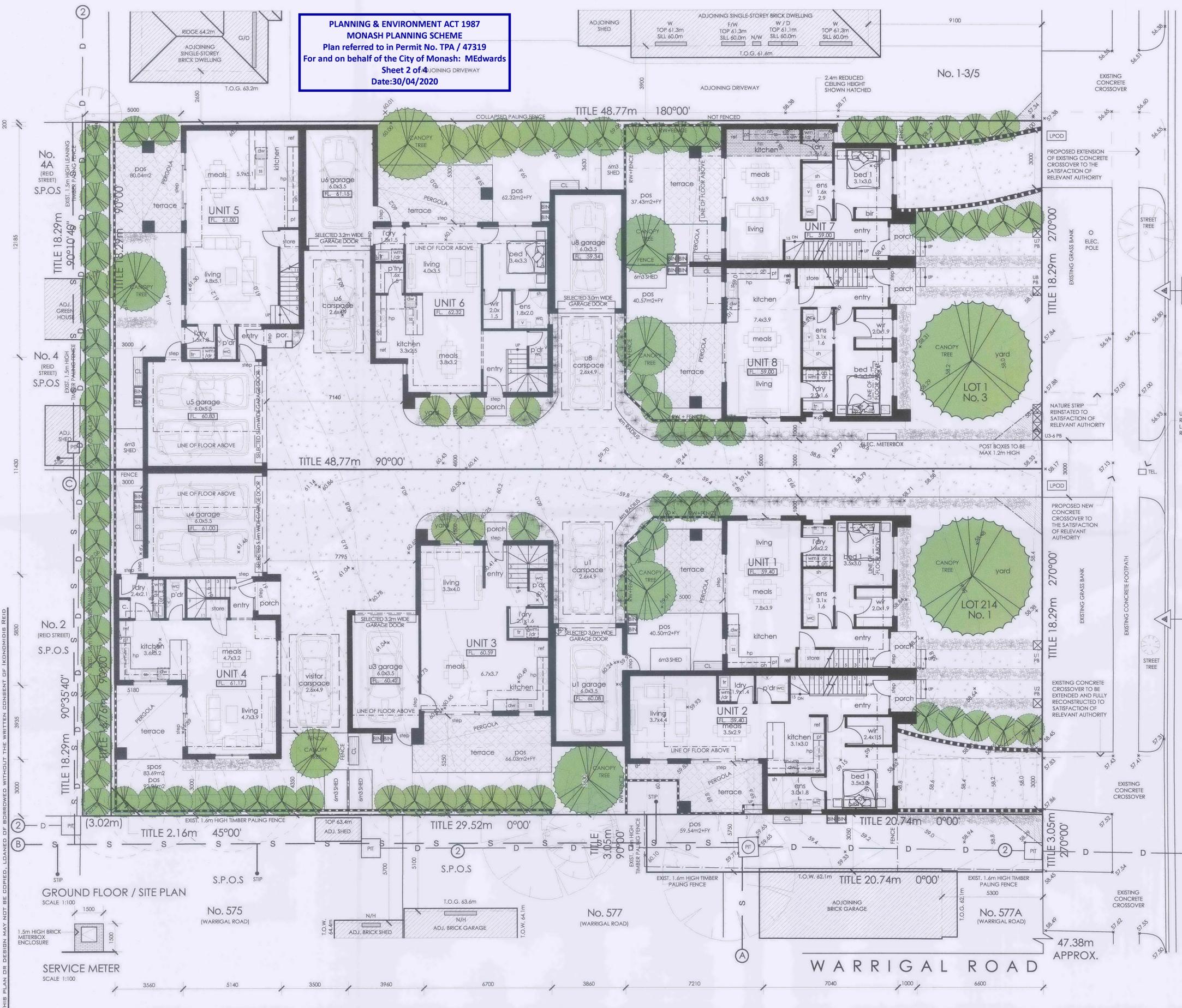
8 MAR20 CONDITION 1
A MAR17 TOWN PLANNING APPLICATION P1 MAR17 PRE-LODGING ISSUE

REV DATE ISSUE
REV DATE ISSUE
REV DATE ISSUE
REV DATE ISSUE

TP-05 B JOB NO. SCALE. DRAWN. DATE.
008980 1:100 OK MARI7

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID

**PLANNING & ENVIRONMENT ACT 1987
MONASH PLANNING SCHEME**
Plan referred to in Permit No. TPA / 47319
For and on behalf of the City of Monash: MEDwards
Sheet 2 of 4
Date: 30/04/2020



- 150 Ø CONCRETE MAIN SEWER PIPE, 2.49m AVE. DEPTH, 0.99m OFFSET NORTH FROM ADJOINING NORTH PROPERTY BOUNDARY. CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION.
- 150 Ø CONCRETE MAIN SEWER PIPE, 2.39m AVE. DEPTH - OFFSET UNKNOWN. CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION.
- 100 Ø VC MAIN SEWER PIPE, 2.31m AVE. DEPTH, 1.14m OFFSET NORTH FROM NORTH BOUNDARY. CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION.
- 100 Ø DRAINAGE PIPE (MATERIAL, DEPTH & OFFSET UNKNOWN). CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION.
- 150 Ø DRAINAGE PIPE (MATERIAL, DEPTH & OFFSET UNKNOWN). CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION.

- LEGEND:
 - EXISTING SPOT LEVELS
 - TELECOMMUNICATIONS PIT
 - SEWER TIE IN POINT
 - ADJOINING HABITABLE WINDOW
 - ADJOINING NON-HABITABLE WINDOW
 - ADJOINING FROSTED WINDOW
 - EXISTING ON-SITE TREES TO BE REMOVED
 - PROPOSED LANDSCAPE TO FUTURE DETAIL
 - ADJOINING DOOR
 - TOP OF GUTTER
 - TOP OF WALL
 - CLOTHES LINE
 - PRIVATE OPEN SPACE
 - SECLUDED PRIVATE OPEN SPACE
 - POST BOX

- LEGAL POINT OF DISCHARGE:
 - No. 1 MONTROSE STREET**
THE LEGAL POINT OF DISCHARGE IS TO THE SOUTH-EAST BOUNDARY OF THE PROPERTY. ACCURATE DEPTH AND OFFSET OF THE DRAIN TO BE CONFIRMED ON SITE. REFER TO LPD INFO FOR MORE INFORMATION.
 - No. 3 MONTROSE STREET**
THE LEGAL POINT OF DISCHARGE IS TO THE SOUTH-EAST BOUNDARY OF THE PROPERTY. ACCURATE DEPTH AND OFFSET OF THE DRAIN TO BE CONFIRMED ON SITE. REFER TO LPD INFO FOR MORE INFORMATION.

PEDESTRIAN VISIBILITY SPAY NOTE:
PEDESTRIAN VISIBILITY SPAYS OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTION (OR WITH A HEIGHT OF LESS THAN 1.2M) EXTENDING AT LEAST 2.0 METERS LONG X 2.5 METERS DEEP (WITHIN THE PROPERTY) ON BOTH SIDES OF EACH VEHICLE CROSSING TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD.

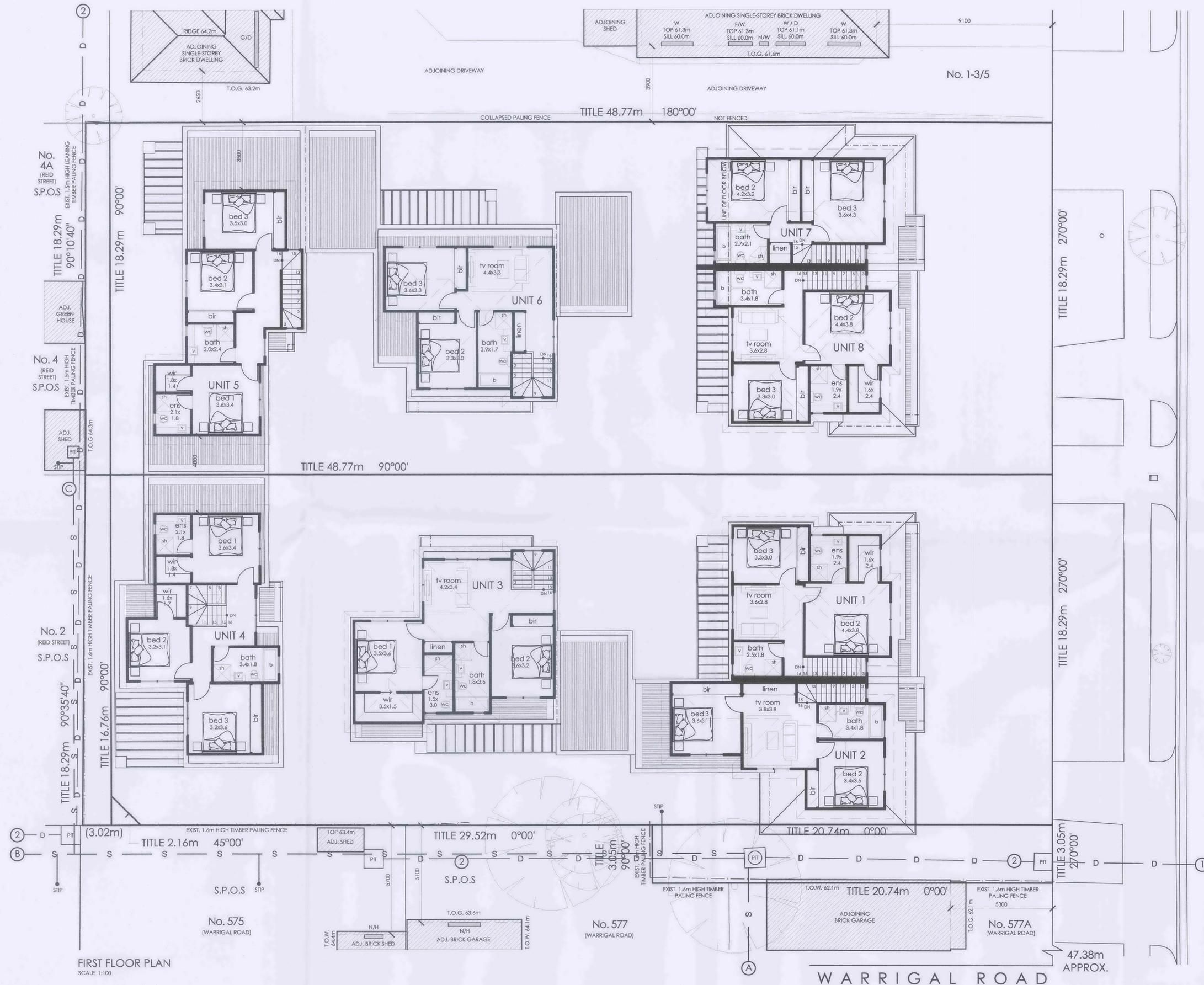
EXTERNAL FINISHES SCHEDULE	
ROOFING	FLAT METAL SHEET ROOFING
WALLS	FACE BRICKWORK
	RENDERED POLYSTYRENE CLADDING
	FEATURE ARCHITECTURAL PANEL CLADDING
GUTTERS & DOWNPIPES	COLORBOND
WINDOWS & DOORS	POWDERCOATED ALUMINIUM

DEVELOPMENT SUMMARY			
SITE AREA (TOTAL)	1896.04m ²	BUILDING SITE COVERAGE	800.20m ² (42.20%)
DENSITY	1:237.005	SITE PERMEABILITY	580.91m ² (30.63%)
No of DWELLINGS	8		
CAR-PARKING	16 TOTAL	PRIVATE OPEN SPACE	
UNIT 1	2 CARSPACES	UNIT 1	POS = 40.50m ² +FY
UNIT 2	2 CARSPACES	UNIT 2	POS = 59.54m ² +FY
UNIT 3	1 CARSPACE	UNIT 3	POS = 66.03m ² +FY
UNIT 4	2 CARSPACES	UNIT 4	POS = 92.96m ²
UNIT 5	2 CARSPACES	UNIT 5	POS = 60.04m ²
UNIT 6	2 CARSPACES	UNIT 6	POS = 62.32m ²
UNIT 7	2 CARSPACES	UNIT 7	POS = 37.42m ² +FY
UNIT 8	2 CARSPACES	UNIT 8	POS = 40.57m ² +FY
VISITORS	1 CARSPACE		

GROSS BUILDING AREA / UNIT				
	UNIT 1	UNIT 2	UNIT 3	UNIT 4
BASEMENT	N/A	38.78m ²	N/A	N/A
GROUND	75.00m ²	87.30m ²	65.90m ²	67.46m ²
FIRST	62.33m ²	56.70m ²	73.49m ²	69.91m ²
GARAGE	24.71m ²	34.01m ²	24.62m ²	36.77m ²
PORCH	2.86m ²	3.47m ²	1.14m ²	2.37m ²
TOTAL	164.90m ² (17.73%)	220.26m ² (23.68%)	165.15m ² (17.73%)	176.51m ² (18.98%)
	UNIT 5	UNIT 6	UNIT 7	UNIT 8
BASEMENT	N/A	N/A	30.07m ²	N/A
GROUND	76.70m ²	84.76m ²	63.38m ²	75.19m ²
FIRST	66.86m ²	60.24m ²	50.59m ²	64.26m ²
GARAGE	37.12m ²	24.26m ²	25.79m ²	25.11m ²
PORCH	1.35m ²	1.13m ²	3.47m ²	2.87m ²
TOTAL	182.03m ² (19.57%)	170.39m ² (18.32%)	173.30m ² (18.63%)	167.43m ² (18.00%)

- CONSTRUCTION**
 - INTERNAL WALLS: 90mm THICK TIMBER STUD CONSTRUCTION
 - EXTERNAL WALLS: 240mm THICK BRICK VENEER CONSTRUCTION & 90mm THICK TIMBER STUD CONSTRUCTION WITH LIGHTWEIGHT CLADDING
 - FIRST FLOOR - 90mm THICK TIMBER STUD CONSTRUCTION WITH LIGHTWEIGHT CLADDING
- LANDSCAPING**
 - FOR DETAILS OF LANDSCAPING PLEASE REFER TO SEPARATE LANDSCAPE PLAN (TO BE SUBMITTED AT A LATER DATE)
- STORMWATER**
 - ALL STORMWATER, INCLUDING ROOF AND PAVEMENT TO BE COLLECTED VIA ON SITE SYSTEM AND CONNECTED TO LEGAL POINT OF DISCHARGE. DETAILS TO BE SUBMITTED AS PART OF BUILDING PERMIT. NO STORMWATER TO BE DISCHARGED

**MULTI UNIT DEVELOPMENT
1 & 3 MONTROSE STREET
ASHWOOD
GROUND FLOOR / SITE PLAN**



- 150 Ø CONCRETE MAIN SEWER PIPE, 2.49m AVE. DEPTH
0.99m OFFSET NORTH FROM ADJOINING NORTH PROPERTY BOUNDARY
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION
- 150 Ø CONCRETE MAIN SEWER PIPE
2.39m AVE. DEPTH - OFFSET UNKNOWN
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION
- 100 Ø VC MAIN SEWER PIPE, 2.31m AVE. DEPTH
1.14m OFFSET NORTH FROM NORTH BOUNDARY
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION
- 100 Ø DRAINAGE PIPE (MATERIAL, DEPTH & OFFSET UNKNOWN)
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION
- 150 Ø DRAINAGE PIPE (MATERIAL, DEPTH & OFFSET UNKNOWN)
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION

PLANNING & ENVIRONMENT ACT 1987
MONASH PLANNING SCHEME
 Plan referred to in Permit No. TPA / 47319
 For and on behalf of the City of Monash: MEDwards
 Sheet 3 of 4
 Date: 30/04/2020

FIRST FLOOR PLAN
SCALE 1:100

MULTI UNIT DEVELOPMENT
1 & 3 MONTROSE STREET
ASHWOOD
FIRST FLOOR PLAN

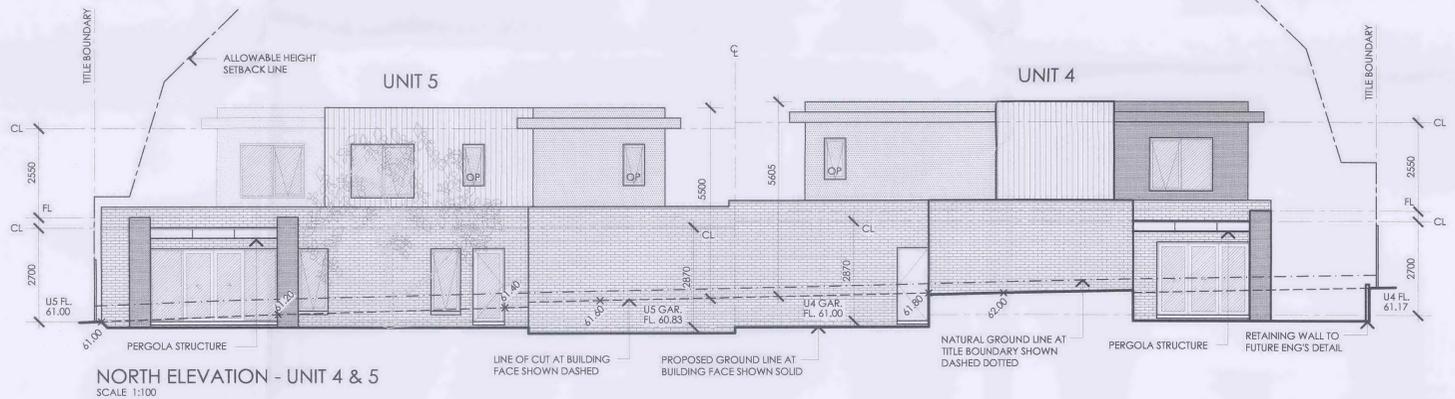
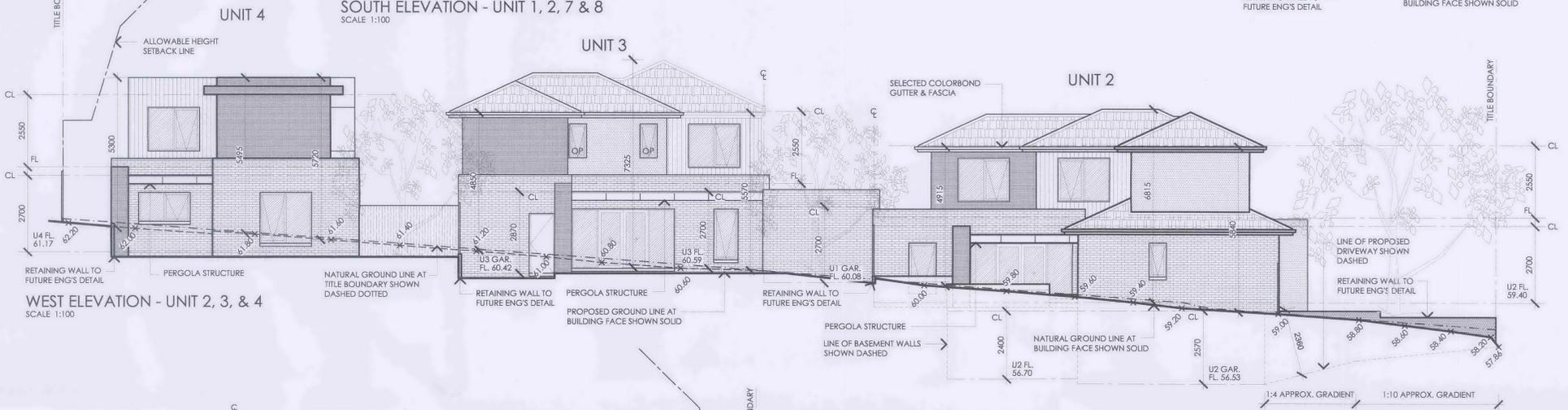
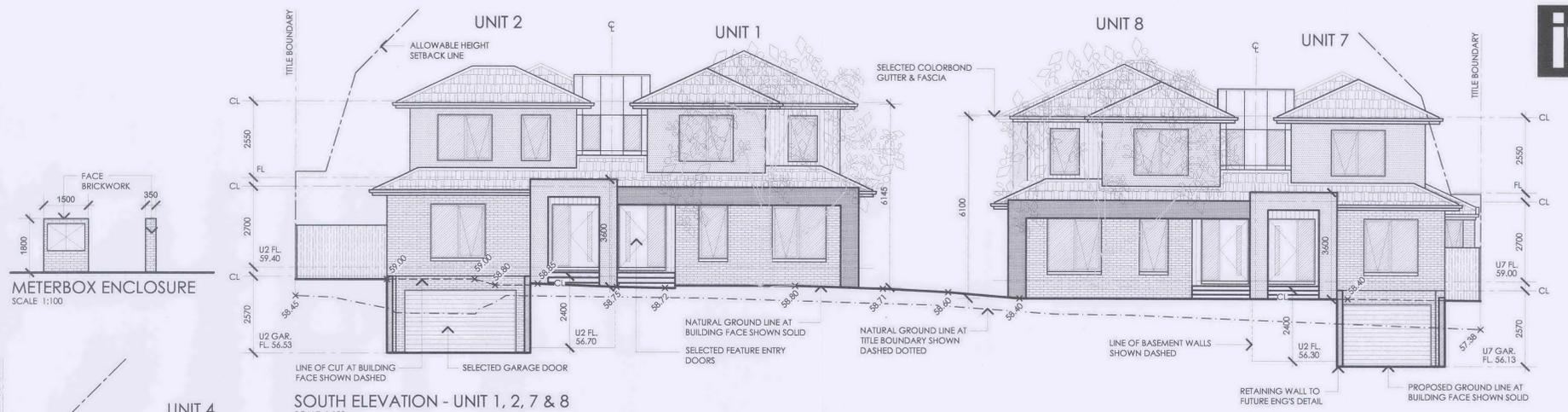
REV	DATE	ISSUE	REV	DATE	ISSUE	REV	DATE	ISSUE
B	MAR20	CONDITION 1	A	MAR17	TOWN PLANNING APPLICATION	P1	MAR17	PRE-LOGGING ISSUE





MATERIALS LEGEND
COLOURS AND MATERIALS TO OWNER'S SELECTION

	FACE BRICKWORK		CLEAR GLAZING
	RENDERED FINISH - TYPE 1		OPERABLE OPAQUE GLAZING
	RENDERED FINISH - TYPE 2	WINDOW/DOOR FRAMES: POWDERCOATED ALUMINIUM	
	FEATURE ARCHITECTURAL PANEL CLADDING	ENTRY DOORS: SOLID TIMBER HINGED DOORS WITH GLAZING PANEL	
	VERTICAL BOARD CLADDING (TIMBER APPEARANCE)	GARAGE DOORS: 'COLORBOND' SECTIONAL / TILT PANEL DOOR	
	INTERNAL TIMBER PALING FENCES	FASCIAS, DOWNPIPES & CAPPING: 'COLORBOND'	



PLANNING & ENVIRONMENT ACT 1987
MONASH PLANNING SCHEME
Plan referred to in Permit No. TPA / 47319
For and on behalf of the City of Monash: MEdwards
Sheet 4 of 4
Date:30/04/2020

MULTI UNIT DEVELOPMENT
1 & 3 MONTROSE STREET
ASHWOOD
ELEVATIONS

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OR BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID

IKONOMIDIS REID