

1.50 Ø CONCRETE MAIN SEWER PIPE, 2.49m AVE. DEPTH
0.99m OFFSET NORTH FROM ADJOINING NORTH PROPERTY BOUNDARY
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION

1.50 Ø CONCRETE MAIN SEWER PIPE
2.39m AVE. DEPTH - OFFSET UNKNOWN
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION

100 Ø VC MAIN SEWER PIPE, 2.31m AVE. DEPTH
1.14m OFFSET NORTH FROM NORTH BOUNDARY
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION

100 Ø DRAINAGE PIPE (MATERIAL, DEPTH & OFFSET UNKNOWN)
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION

150 Ø DRAINAGE PIPE (MATERIAL, DEPTH & OFFSET UNKNOWN)
CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION

NOTE: ALL LEVELS ARE TO A.H.D

LEGEND

x 58.00	EXISTING SPOT LEVELS	D	ADJOINING DOOR
TEL	TELECOMMUNICATIONS PIT	D.T.O.G	TOP OF GUTTER
STIP	SEWER TIE IN POINT	T.O.W	TOP OF WALL
HW	ADJOINING HABITABLE WINDOW	CL	CLOTHES LINE
N/HW	ADJOINING NON-HABITABLE WINDOW	POS	PRIVATE OPEN SPACE
F/W	ADJOINING FROSTED WINDOW	SPOS	SECLUDED PRIVATE OPEN SPACE
		PB	POST BOX

EXISTING ADJOINING / STREET TREES

EXISTING ON-SITE TREES TO BE REMOVED

SELECTED COLOURED CONCRETE DRIVEWAY / PATH

LEGAL POINT OF DISCHARGE

No. 1 MONTROSE STREET
THE LEGAL POINT OF DISCHARGE IS TO THE SOUTH-EAST BOUNDARY OF THE PROPERTY.

ACCURATE DEPTH AND OFFSET OF THE DRAIN TO BE CONFIRMED ON SITE.
REFER TO LPOD INFO FOR MORE INFORMATION.

No. 3 MONTROSE STREET
THE LEGAL POINT OF DISCHARGE IS TO THE SOUTH-EAST BOUNDARY OF THE PROPERTY.

ACCURATE DEPTH AND OFFSET OF THE DRAIN TO BE CONFIRMED ON SITE.
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PEDESTRIAN VISIBILITY SPAY NOTE
PEDESTRIAN VISIBILITY SPAYS OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTION (OR WITH A HEIGHT OF LESS THAN 1.2m) EXTENDING AT LEAST 2.0 METERS LONG X 2.5 METRES DEEP (WITHIN THE PROPERTY) ON BOTH SIDES OF EACH VEHICLE CROSSING TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE.

UPGRADE OR RELOCATE PIT TO LOCAL AUTHORITY REQUIREMENTS

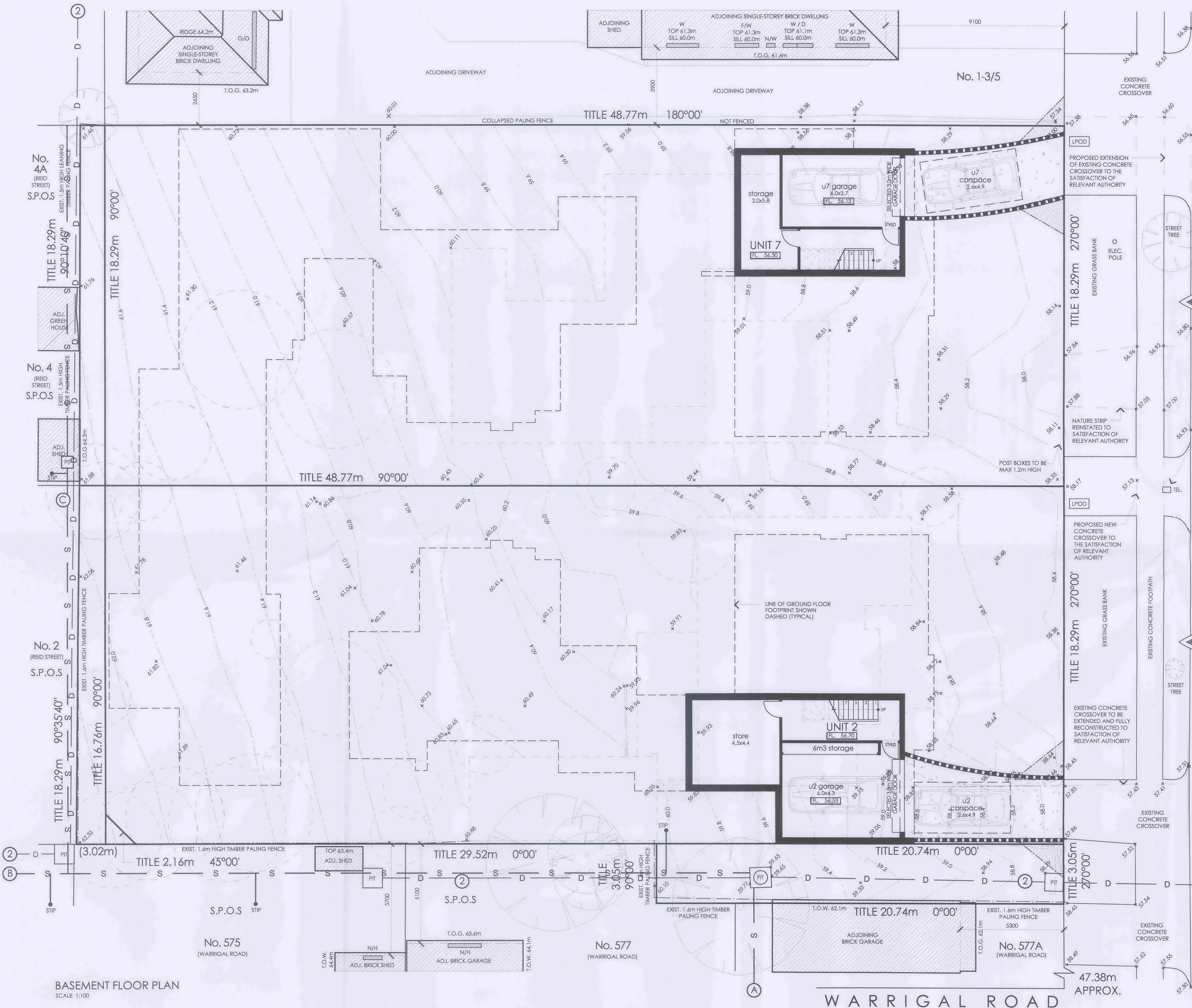
T.B.M. RIVET IN TOP OF KERB RL 57.18m

T.B.M. RIVET IN TOP OF KERB RL 56.79m

MONTROSE STREET

WARRIGAL ROAD

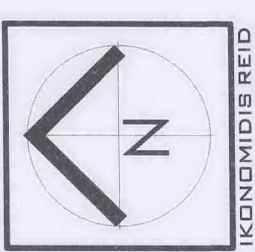
47.38m APPROX.



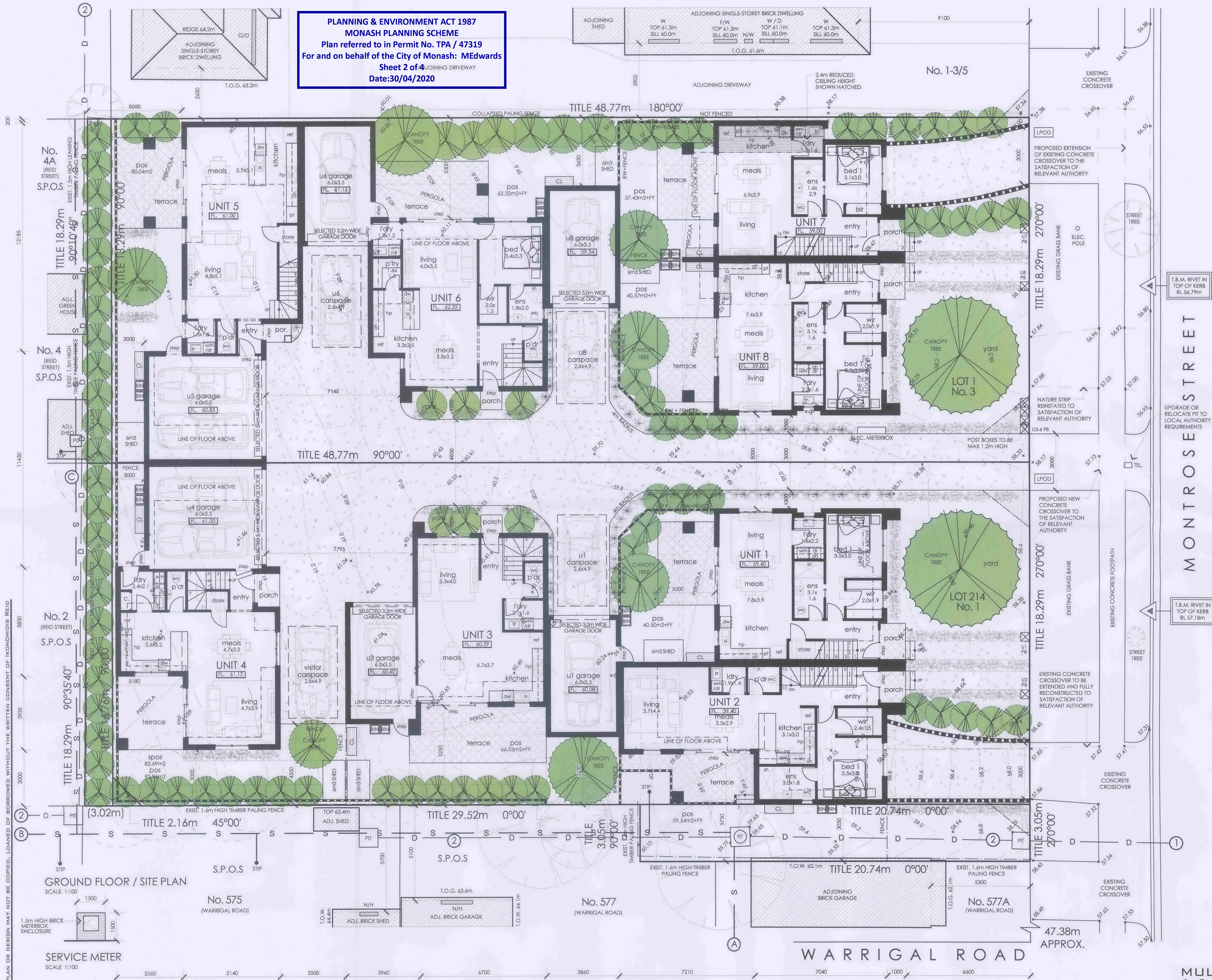
BASEMENT FLOOR PLAN
SCALE 1:100

PLANNING & ENVIRONMENT ACT 1987
MONASH PLANNING SCHEME
Plan referred to in Permit No. TPA / 47319
For and on behalf of the City of Monash: **MEdwards**
Sheet 1 of 4
Date: 30/04/2020

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 Sheet 2 of 4
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- 150 Ø CONCRETE MAIN SEWER PIPE, 2.49m AVE. DEPTH, 0.99m OFFSET NORTH FROM ADJOINING NORTH PROPERTY BOUNDARY. CONFIRM EXACT POSITION ON SITE PRIOR TO CONSTRUCTION.
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- LEGEND
- NOTES: ALL LEVELS ARE TO A.H.D.
- EXISTING SPOT LEVELS
- TELECOMMUNICATIONS PIT
- SEWER TIE IN POINT
- ADJOINING HABITABLE WINDOW
- ADJOINING NON-HABITABLE WINDOW
- ADJOINING FROSTED WINDOW
- PROPOSED 1.8m MIN. HIGH INTERNAL TIMBER PALING FENCE
- PROPOSED 1.8m MIN. HIGH INTERNAL TIMBER PALING FENCE ON TOP
- EXISTING ADJOINING / STREET TREES
- EXISTING ON-SITE TREES TO BE REMOVED
- PROPOSED LANDSCAPE TO FUTURE DETAIL
- SELECTED EXTERNAL PAVING
- SELECTED COLOURED CONCRETE DRIVEWAY / PATH

LEGAL POINT OF DISCHARGE

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PEDESTRIAN VISIBILITY SPAY NOTE:
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EXTERNAL FINISHES SCHEDULE

ROOFING	FLAT METAL SHEET ROOFING
WALLS	FACE BRICKWORK
	RENDERED POLYSTYRENE CLADDING
	FEATURE ARCHITECTURAL PANEL CLADDING
GUTTERS & DOWNPIPES	COLORBOND
WINDOWS & DOORS	POWDERCOATED ALUMINIUM

DEVELOPMENT SUMMARY

SITE AREA (TOTAL)	1896.04m ²	BUILDING SITE COVERAGE	800.20m ² (42.20%)
DENSITY	1:237.005	SITE PERMEABILITY	580.91m ² (30.63%)
No of DWELLINGS	8		
CAR-PARKING	16 TOTAL	PRIVATE OPEN SPACE	
UNIT 1	2 CARSPACES	UNIT 1	POS = 40.50m ² +FY
UNIT 2	2 CARSPACES	UNIT 2	POS = 59.54m ² +FY
UNIT 3	1 CARSPACE	UNIT 3	POS = 66.03m ² +FY
UNIT 4	2 CARSPACES	UNIT 4	POS = 92.96m ²
UNIT 5	2 CARSPACES	UNIT 5	POS = 60.04m ²
UNIT 6	2 CARSPACES	UNIT 6	POS = 62.32m ²
UNIT 7	2 CARSPACES	UNIT 7	POS = 37.42m ² +FY
UNIT 8	2 CARSPACES	UNIT 8	POS = 40.57m ² +FY
VISITORS	1 CARSPACE		

GROSS BUILDING AREA / UNIT

	UNIT 1	UNIT 2	UNIT 3	UNIT 4
BASEMENT	N/A	38.78m ²	N/A	N/A
GROUND	75.00m ²	87.30m ²	65.90m ²	67.46m ²
FIRST	62.33m ²	56.70m ²	73.49m ²	69.91m ²
GARAGE	24.71m ²	34.01m ²	24.62m ²	36.77m ²
PORCH	2.86m ²	3.47m ²	1.14m ²	2.37m ²
TOTAL	164.90m ² (17.73sq)	220.26m ² (23.68sq)	165.15m ² (17.73sq)	176.51m ² (18.98sq)

	UNIT 5	UNIT 6	UNIT 7	UNIT 8
BASEMENT	N/A	N/A	30.07m ²	N/A
GROUND	76.70m ²	84.76m ²	63.38m ²	75.19m ²
FIRST	66.86m ²	60.24m ²	50.59m ²	64.26m ²
GARAGE	37.12m ²	24.26m ²	25.79m ²	25.11m ²
PORCH	1.35m ²	1.13m ²	3.47m ²	2.87m ²
TOTAL	182.03m ² (19.57sq)	170.39m ² (18.32sq)	173.30m ² (18.63sq)	167.43m ² (18.00sq)

CONSTRUCTION

INTERNAL WALLS - 90mm THICK TIMBER STUD CONSTRUCTION

EXTERNAL WALLS - 240mm THICK BRICK VENEER CONSTRUCTION & 90mm THICK TIMBER STUD CONSTRUCTION WITH LIGHTWEIGHT CLADDING

FIRST FLOOR - 90mm THICK TIMBER STUD CONSTRUCTION WITH LIGHTWEIGHT CLADDING

LANDSCAPING

FOR DETAILS OF LANDSCAPING PLEASE REFER TO SEPARATE LANDSCAPE PLAN (TO BE SUBMITTED AT A LATER DATE)

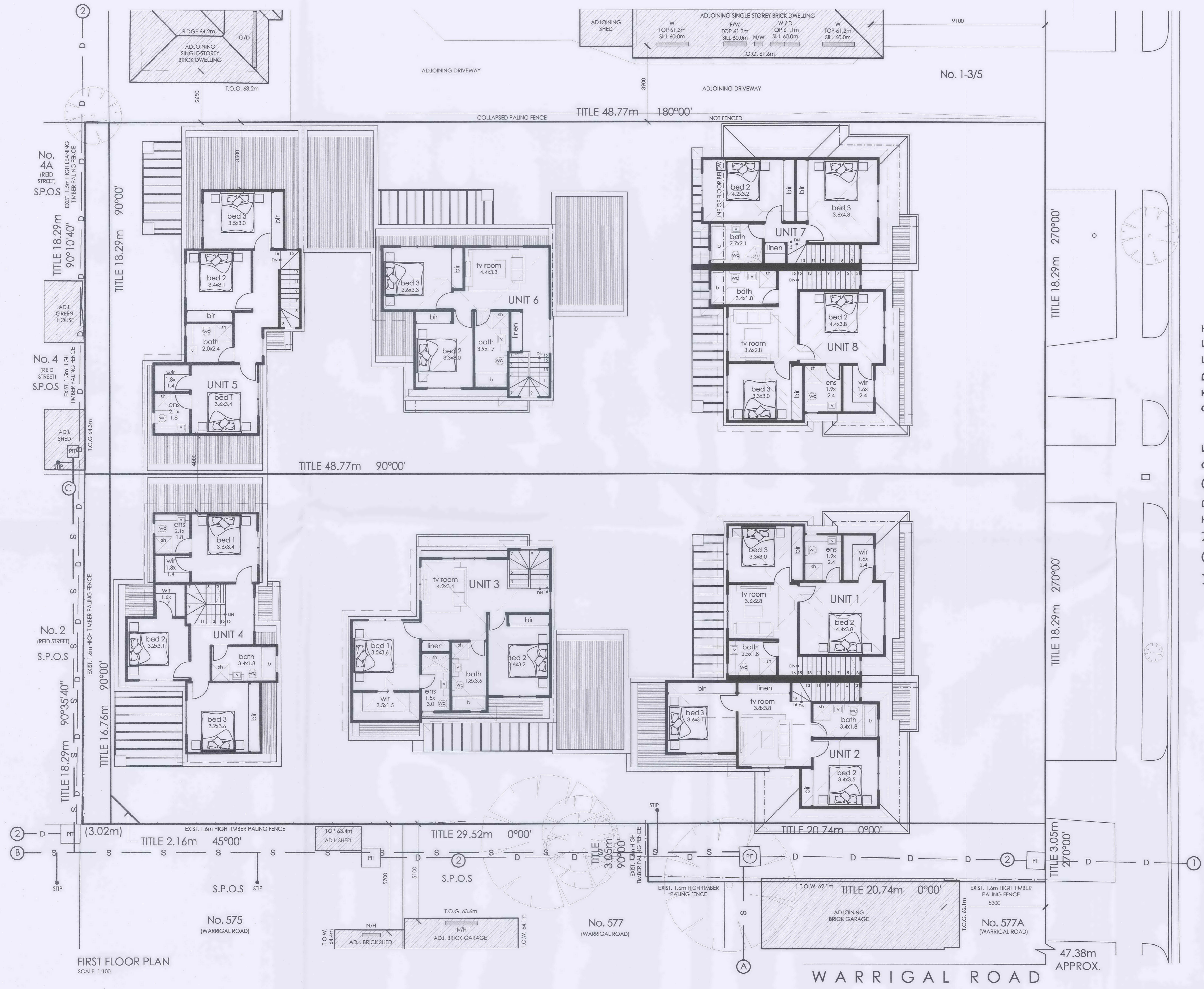
STORMWATER

ALL STORMWATER, INCLUDING ROOF AND PAVEMENT TO BE COLLECTED VIA ON SITE SYSTEM AND CONNECTED TO LEGAL POINT OF DISCHARGE. DETAILS TO BE SUBMITTED AS PART OF BUILDING PERMIT. NO STORMWATER TO BE DISCHARGED

MULTI UNIT DEVELOPMENT
1 & 3 MONTROSE STREET
ASHWOOD
GROUND FLOOR / SITE PLAN



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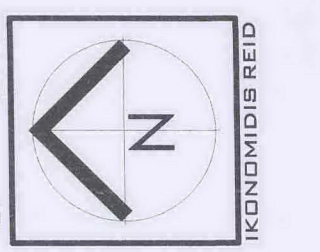


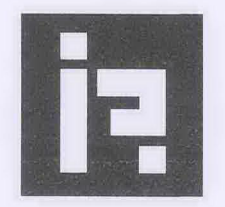
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Sheet 3 of 4
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FIRST FLOOR PLAN
SCALE 1:100

**MULTI UNIT DEVELOPMENT
1 & 3 MONTROSE STREET
ASHWOOD
FIRST FLOOR PLAN**

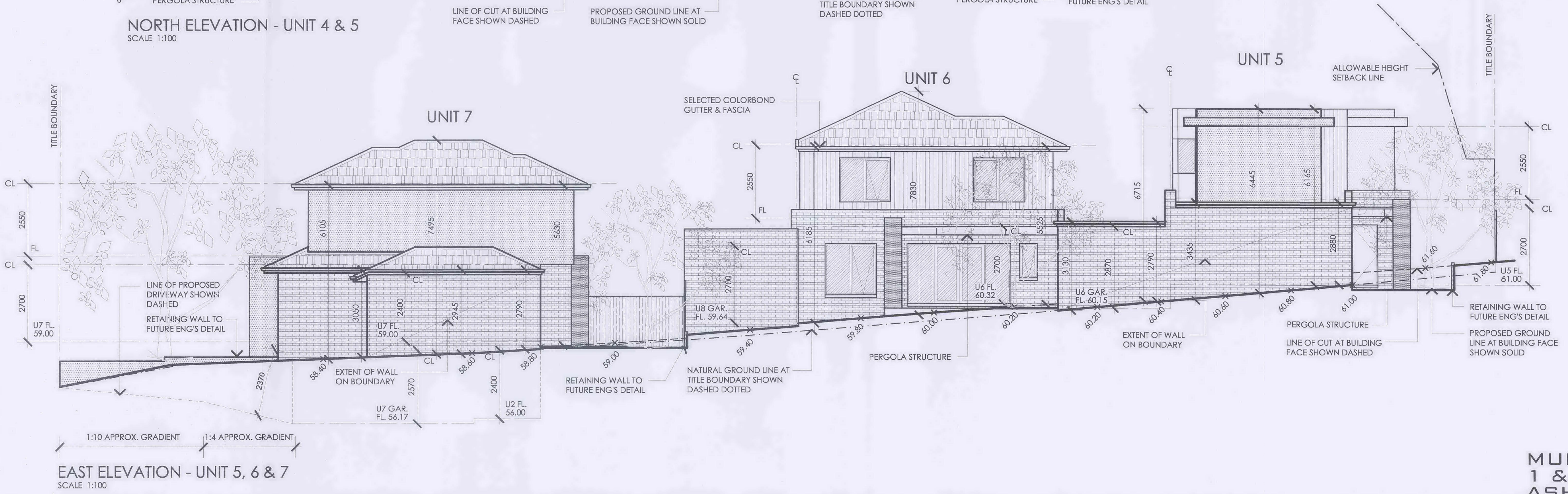
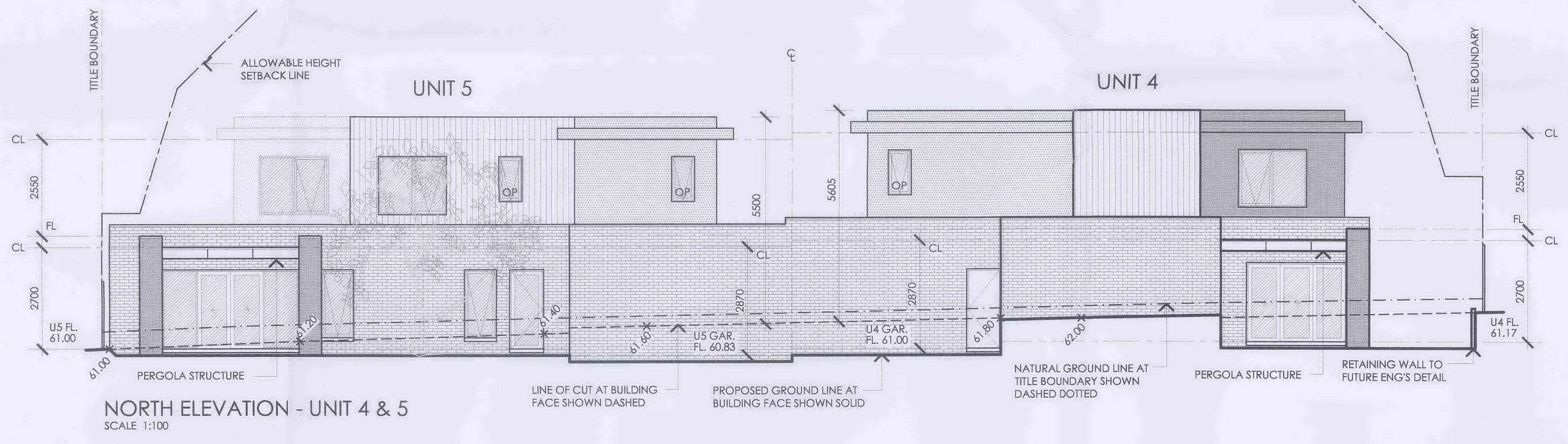
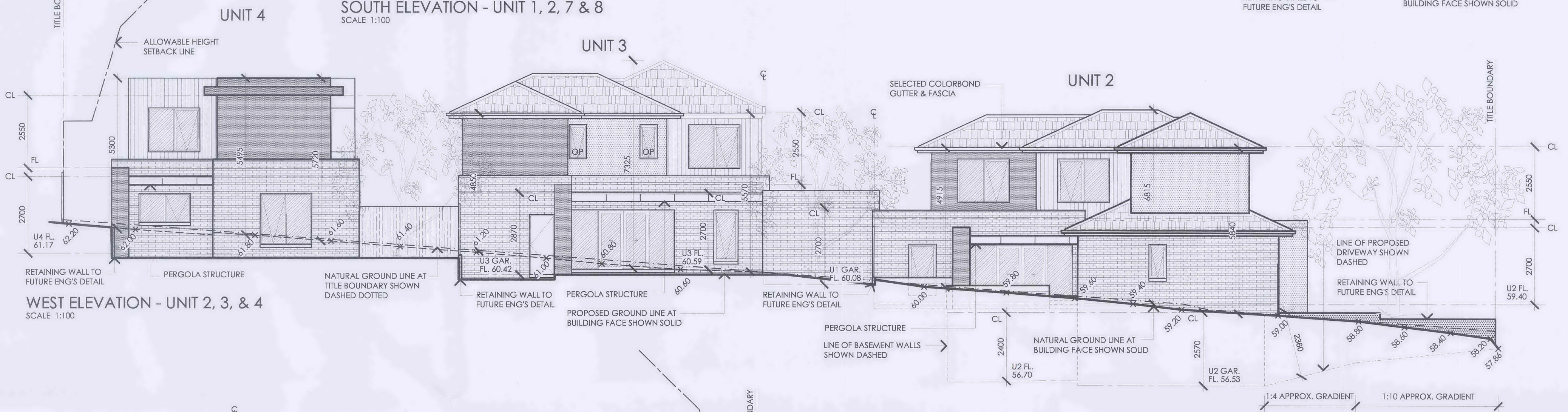
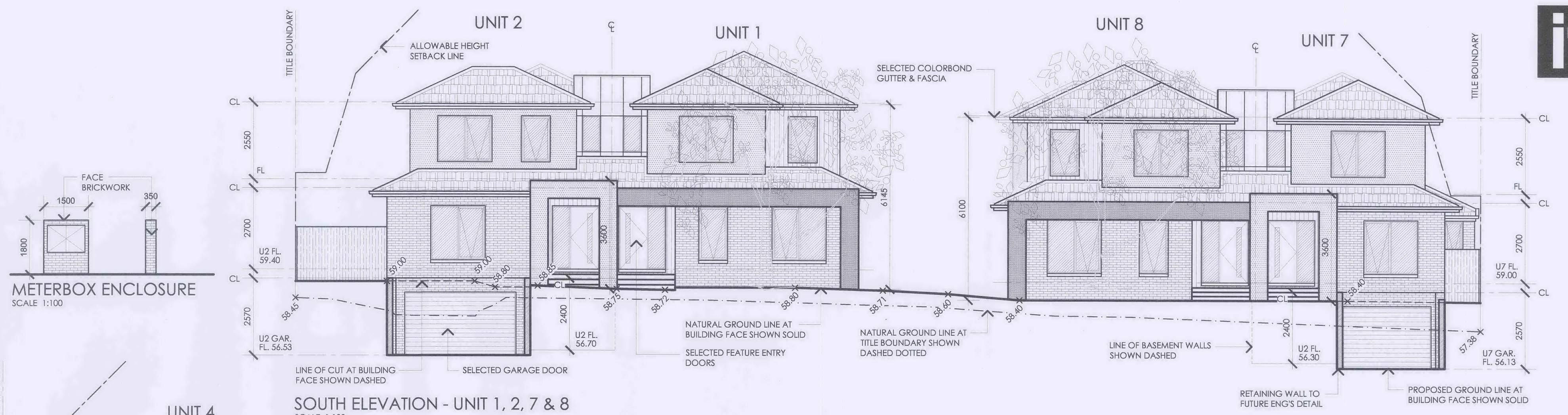
REV	DATE	ISSUE	REV	DATE	ISSUE	REV	DATE	ISSUE
B	MAR20	CONDITION 1	A	MAR17	TOWN PLANNING APPLICATION	P1	MAR17	PRE-LOGGING ISSUE





MATERIALS LEGEND
COLOURS AND MATERIALS TO OWNER'S SELECTION

	FACE BRICKWORK		CLEAR GLAZING
	RENDERED FINISH - TYPE 1		OPERABLE OPAQUE GLAZING
	RENDERED FINISH - TYPE 2	WINDOW/DOOR FRAMES: POWDERCOATED ALUMINIUM	
	FEATURE ARCHITECTURAL PANEL CLADDING	ENTRY DOORS: SOLID TIMBER HINGED DOORS WITH GLAZING PANEL	
	VERTICAL BOARD CLADDING (TIMBER APPEARANCE)	GARAGE DOORS: 'COLORBOND' SECTIONAL / TILT PANEL DOOR	
	INTERNAL TIMBER PALING FENCES	FASCIAS, DOWNPIPES & CAPPING: 'COLORBOND'	



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MULTI UNIT DEVELOPMENT
1 & 3 MONTROSE STREET
ASHWOOD
ELEVATIONS

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