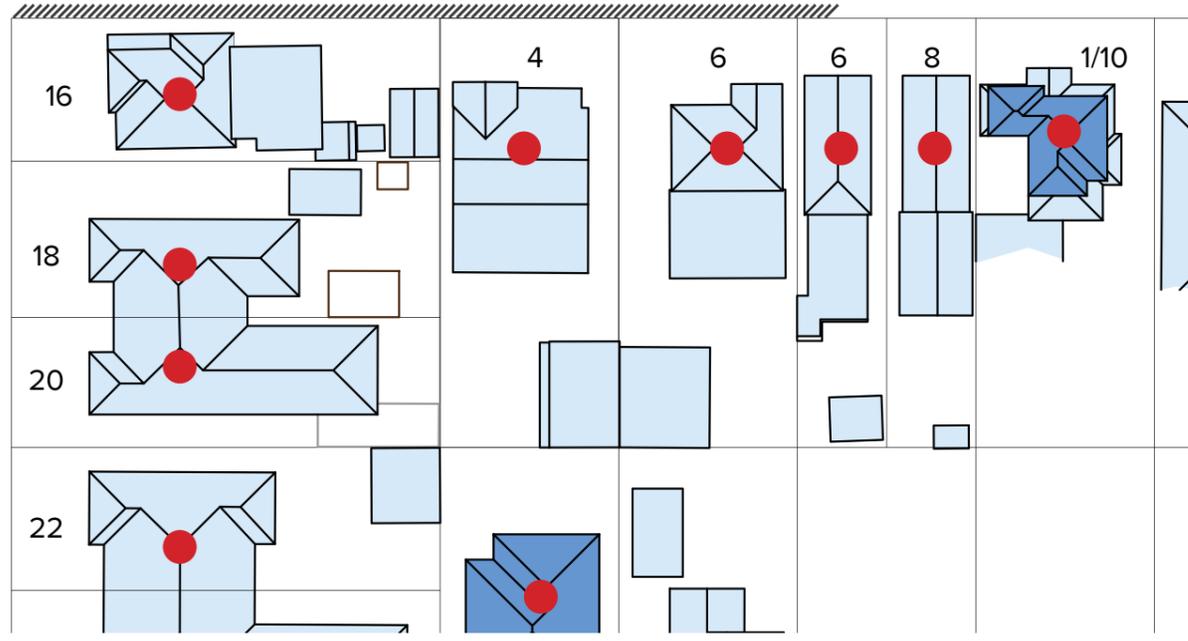


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SITE ANALYSIS LEGEND

- EXISTING SINGLE STOREY SCALE
- EXISTING 2-STOREY SCALE
- EXISTING VEHICULAR SITE ACCESS
- TRAFFIC FLOW
- EXISTING ON STREET PARKING
- SENSITIVE INTERFACE
- STREET FRONTAGE
- POTENTIAL OVERLOOKING
- SUNPATH
- EXISTING TREES
- EXISTING COMMERCIAL USAGE
- EXISTING RESIDENTIAL USAGE
- EXISTING PLACE OF WORSHIP USAGE
- 1 OAKLEIGH STATION
DANDENONG / PAKENHAM METRO RAIL LINE
GIPPSLAND V-LINE SERVICE (VIA CLAYTON)
- 2 OAKLEIGH BUS INTERCHANGE
ROUTE 624 - KEW-OAKLEIGH VIA CAULFIELD, CARNEGIE & CHADSTONE
ROUTE 693 - BELGRAVE-OAKLEIGH VIA F/TREE GULLY & BRANDON PK.
ROUTE 704 - EAST CLAYTON-OAKLEIGH VIA CLAYTON & HUNTINGDALE
ROUTE 742 - EASTLAND-OAKLEIGH VIA VERMONT STH. & GLEN WVRLY.
ROUTE 802-804-862 - DANDENONG-CHADSTONE
ROUTE 862 - DANDENONG-CHADSTONE
ROUTE 900 - STUD PARK-CAULFIELD VIA MONASH & CHADSTONE
ROUTE 903 - ALTONA-MORDIALLOC
ROUTE 625 - ELSTERNWICK-CHADSTONE
ROUTE 701 - BENTLEIGH-OAKLEIGH
ROUTE 733 - OAKLEIGH-BOX HILL
- 3 OAKLEIGH MAJOR ACTIVITY CENTRE 100M



REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
A	16.06.20	LODGEMENT			

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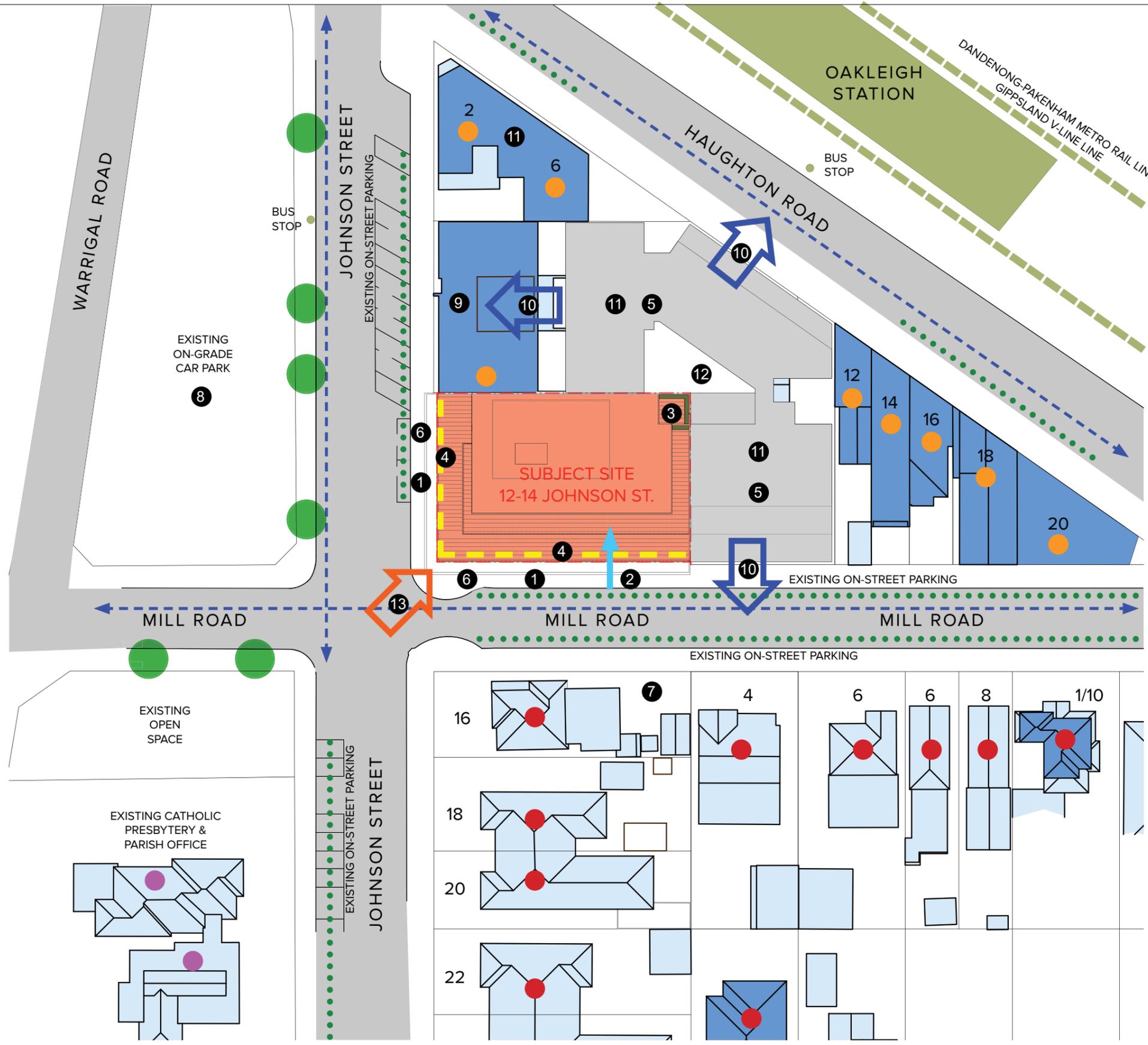


PROJECT:
**PROPOSED MIXED USE DEVELOPMENT
 12-14 JOHNSON STREET**

DRAWING TITLE:
SITE ANALYSIS

DATE:	16.06.20	JOB N°:	40007
SCALE:	NTS	REVISION N°:	A
DRAWN:	BHA		
DRAWING STATUS:		DRAWING N°:	
TOWN PLANNING			TP-101

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DESIGN RESPONSE LEGEND

- EXISTING SINGLE STOREY SCALE
- EXISTING 2-STOREY SCALE
- EXISTING VEHICULAR SITE ACCESS
- EXISTING VEHICULAR SITE ACCESS
- TRAFFIC FLOW
- EXISTING ON STREET PARKING
- STREET FRONTAGE
- EXISTING TREES
- EXISTING COMMERCIAL USAGE
- EXISTING RESIDENTIAL USAGE
- EXISTING PLACE OF WORSHIP USAGE
- PEDESTRIAN ENTRY FROM ACTIVE STREET FRONTAGE. ENTRANCE POINTS TO RETAIL TENANCIES CAN OCCUR TO BOTH FRONTAGES.
- VEHICULAR ENTRY FROM EXISTING CROSSOVER. SERVICES INSTALLATIONS ON ACTIVE FACADES TO BE MINIMISED.
- NOM. 4.5M SETBACK TO INCREASE SOLAR ACCESS.
- STREET FRONTAGE SETBACKS ABOVE STREET WALL TO ARTICULATE FACADE AND REDUCE VISUAL BULK.
- POTENTIAL FUTURE DEVELOPMENT ENVELOPE FOR ADJACENT SITE.
- CANOPY OVER ACTIVE FRONTAGE TO MILL RD. & JOHNSON ST.
- MINIMISE OVERSHADOWING TO RESIDENTIAL PROPERTIES ON SOUTHERN SIDE OF MILL ROAD.
- POTENTIAL FUTURE MEDIUM-SCALE TO LARGE-SCALE DEVELOPMENT OVER EXISTING COUNCIL CARPARK.
- FUTURE DEVELOPMENT OF 8-10 JOHNSON STREET MAY NEED TO ALLOW FOR RETENTION OF EXISTING 2-STOREY BUILDING.
- LIKELY MAIN OUTLOOKS FOR POTENTIAL REDEVELOPMENT OF ADAJCENT SITES.
- MAJORITY OF DEVELOPMENT FOR SUBJECT SITE AND POTENTIAL ADJACENT SITES WILL BE BUILT BOUNDARY-TO-BOUNDARY.
- POTENTIAL LIGHT COURT SETBACK FOR POTENTIAL REDEVELOPMENT OF ADJACENT SITE.
- MAJOR CORNER ASPECT FOR PROPOSED DEVELOPMENT.

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PROJECT:
**PROPOSED MIXED USE DEVELOPMENT
12-14 JOHNSON STREET**

DRAWING TITLE:
DESIGN RESPONSE

DATE:	16.06.20	JOB N°:	40007
SCALE:	NTS	REVISION N°:	A
DRAWN:	BHA		
DRAWING STATUS:		DRAWING N°:	
TOWN PLANNING			TP-102

12-14 JOHNSON ST, OAKLEIGH



VIEW OF SITE FROM JOHNSON STREET
LOOKING EAST

12-14 JOHNSON ST, OAKLEIGH



MILL ROAD / JOHNSON STREET INTERSECTION LOOKING
NORTH-EAST

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12-14 JOHNSON ST, OAKLEIGH EXISTING OPEN CARPARK



MILLROAD - LOOKING NORTH OVER EXISTING CARPARK

12-14 JOHNSON ST, OAKLEIGH



VIEW FROM JOHNSON STREET LOOKING
NORTH - EAST

12-14 JOHNSON ST, OAKLEIGH

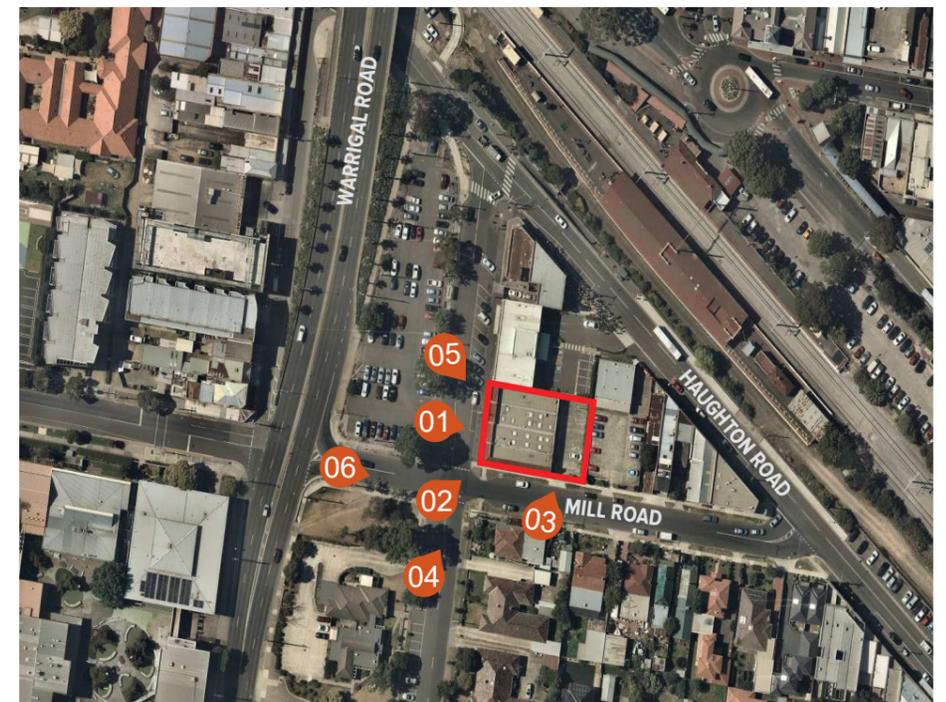


VIEW OF JOHNSON / MILL ROAD INTERSECTION
LOOKING SOUTH

12-14 JOHNSON ST, OAKLEIGH



VIEW LOOKING EAST FROM MILL ROAD



REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
A	16.06.20	LODGEMENT			

12-14 JOHNSON ST, OAKLEIGH



VIEW LOOKING WEST FROM MILL ROAD

12-14 JOHNSON ST, OAKLEIGH



VIEW FROM HAUGHTON ROAD NEAR JOHNSON STREET INTERSECTION LOOK SOUTH

12-14 JOHNSON ST, OAKLEIGH

SUBJECT SITE



JOHNSON STREET LOOKING NORTH

12-14 JOHNSON ST, OAKLEIGH



VIEW FROM HAUGHTON ROAD AND MILL ROAD INTERSECTION LOOKING WEST

12-14 JOHNSON ST, OAKLEIGH

EXISTING SUBJECT SITE CARPARK

SUBJECT SITE & EXISTING BUILDING



VIEW FROM HAUGHTON ROAD LOOKING SOUTH

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12-14 JOHNSON ST, OAKLEIGH



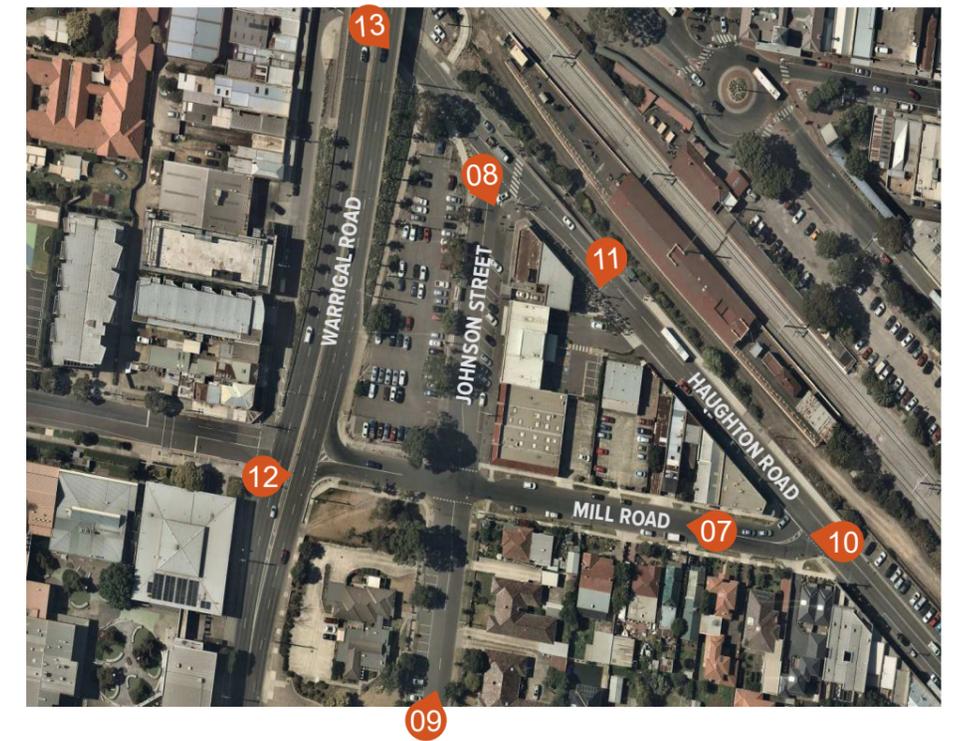
VIEW EAST FROM WARRIGAL ROAD

12-14 JOHNSON ST, OAKLEIGH

SUBJECT SITE



VIEW FROM WARRIGAL ROAD OVERPASS



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A	16.06.20	LODGEMENT			

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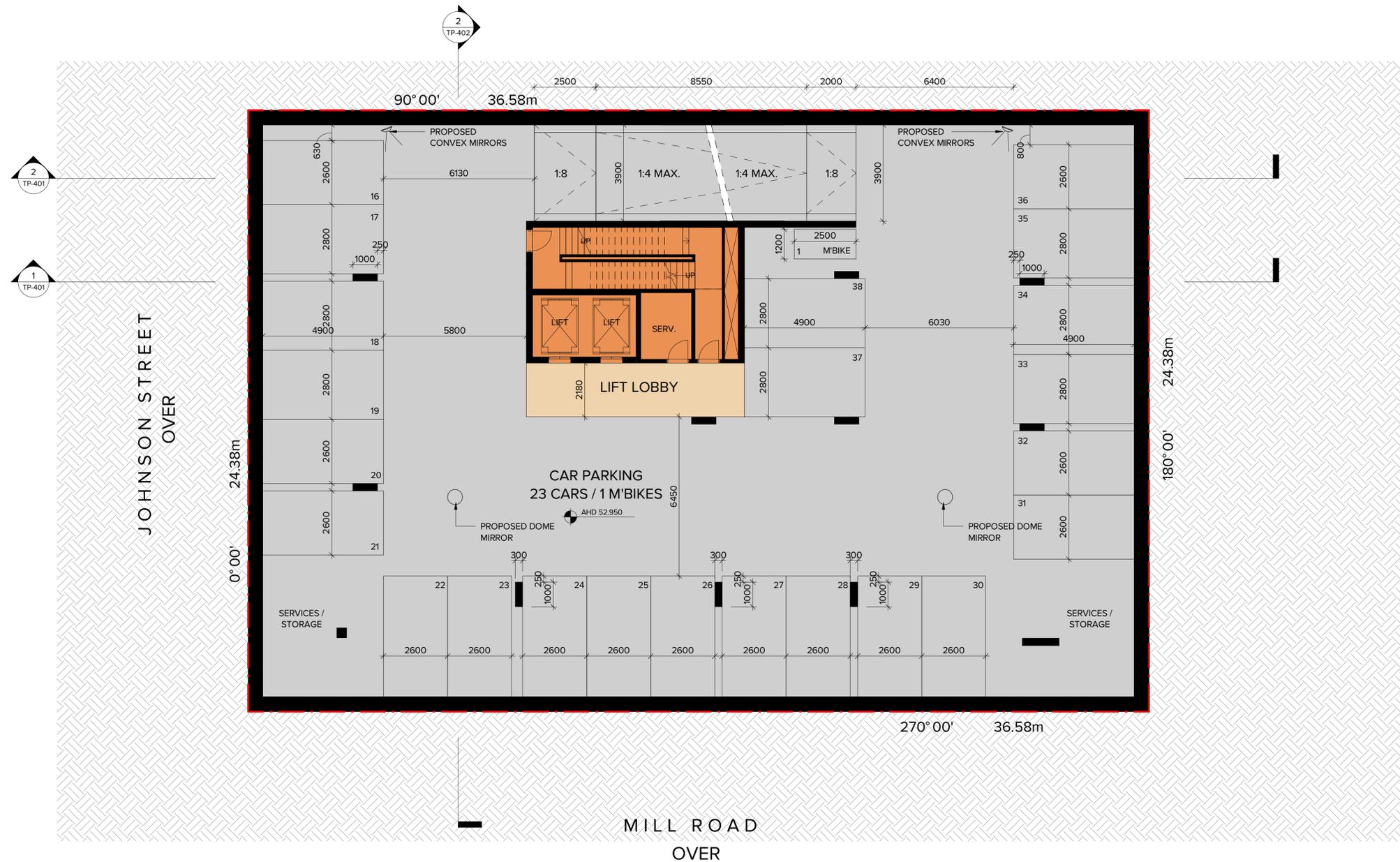


PROJECT:
 12-14 JOHNSON STREET
 OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:
 PROPOSED FLOOR PLAN - BASEMENT 2

DATE: 07.07.20 JOB N°: 40007
 SCALE: 1: 100 @ A1 REVISION N°: 2
 DRAWN: JR
 DRAWING STATUS: TOWNPLANNING DRAWING N°: TP-203

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2	16.06.20	LODGEMENT			



PROJECT:
 12-14 JOHNSON STREET
 OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:
 PROPOSED FLOOR PLAN - BASEMENT 1

DATE: 07.07.20 JOB N°: 40007
 SCALE: 1: 100 @ A1 REVISION N°: 2
 DRAWN: JR
 DRAWING STATUS: TOWNPLANNING DRAWING N°: TP-204

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2	16.06.20	LODGEMENT			



PROJECT:
12-14 JOHNSON STREET
OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:
PROPOSED FLOOR PLAN - GROUND

DATE: 07.07.20 JOB N°: 40007

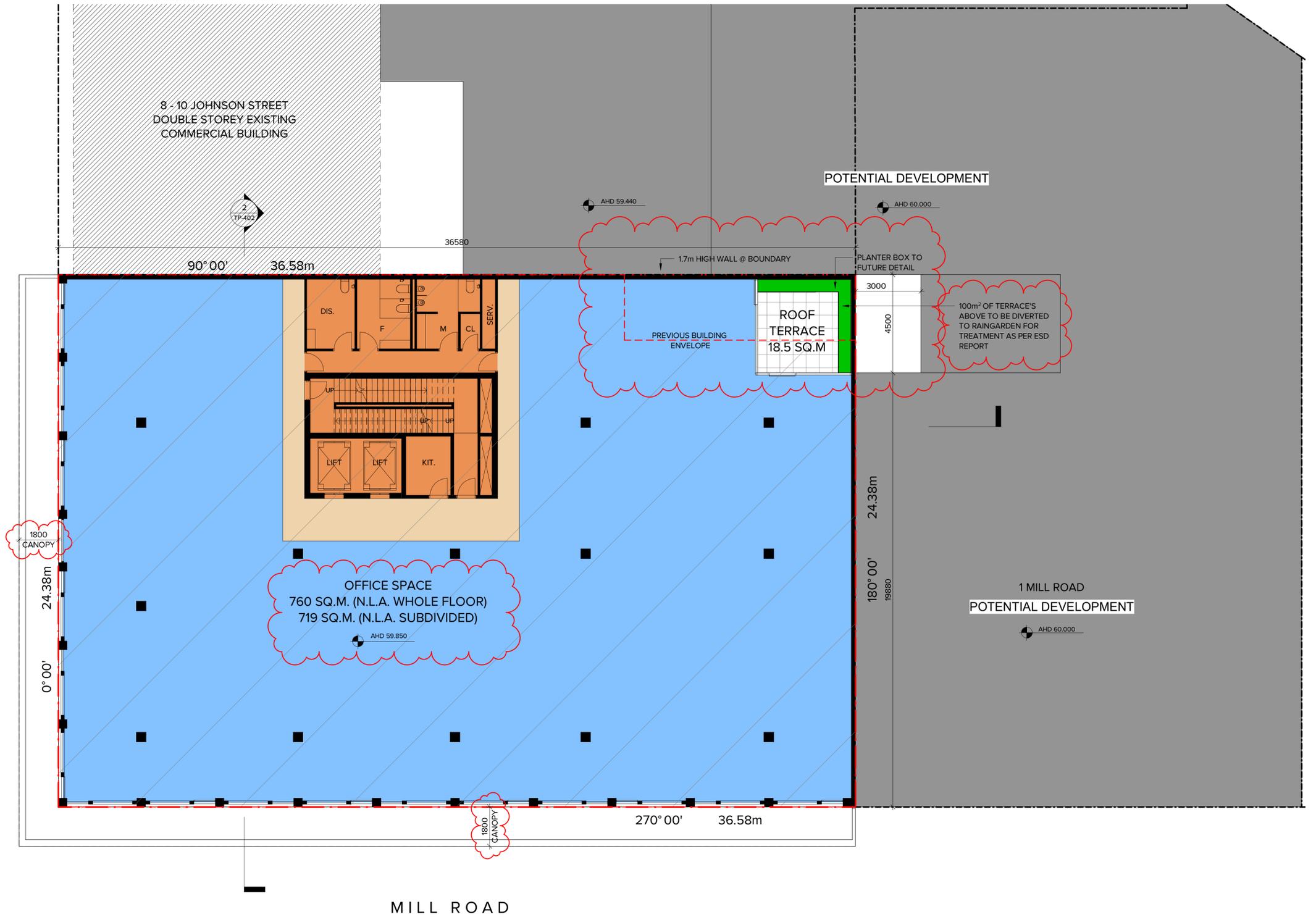
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1	01.06.20	UPDATED SETBACKS			
2	16.06.20	LODGEMENT			
3	07.07.20	NOTES ADDED			



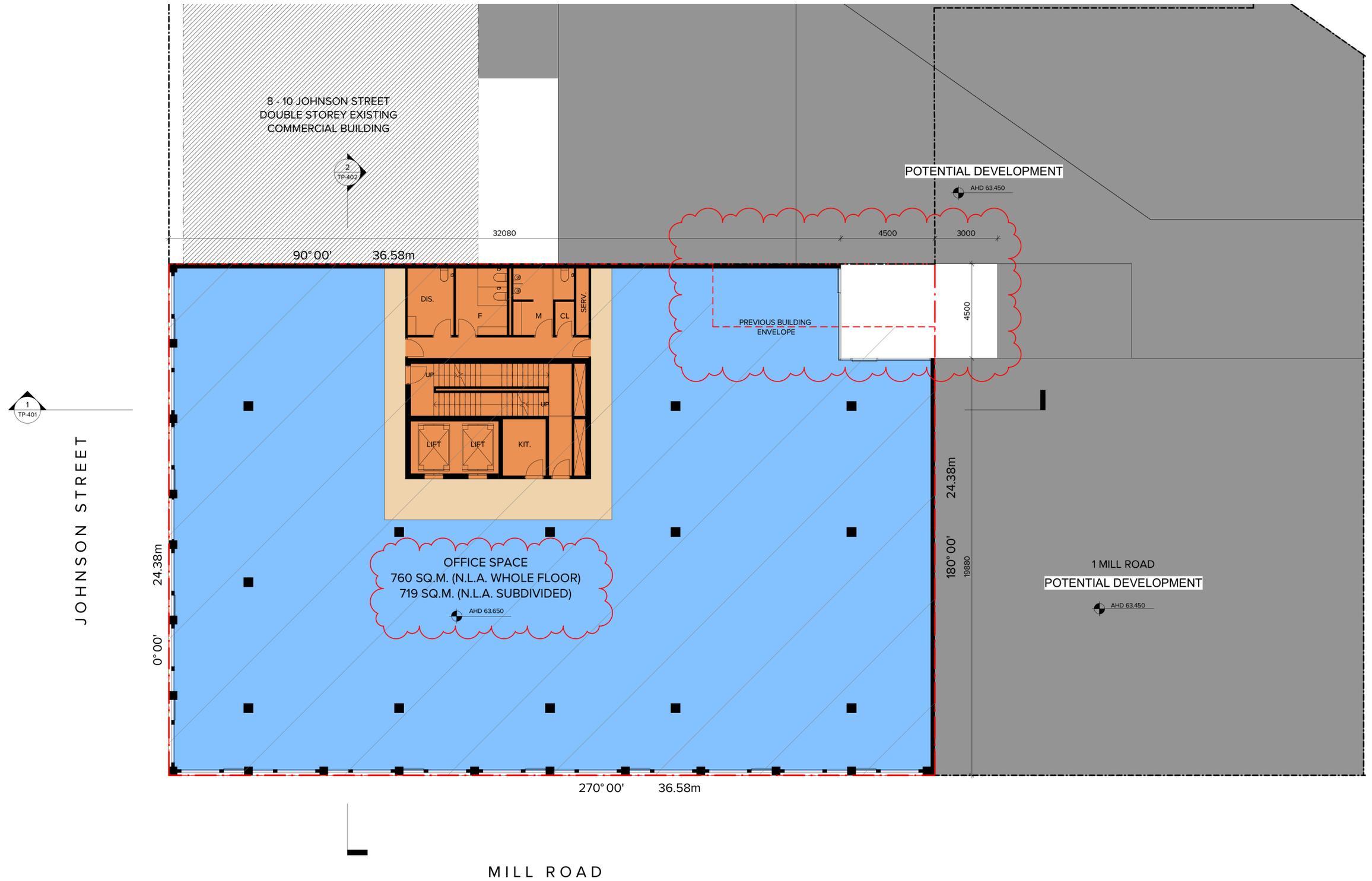
PROJECT:
 12-14 JOHNSON STREET
 OAKLEIGH - OFFICE DEVELOPMENT
 DRAWING TITLE:
 PROPOSED FLOOR PLAN - LEVEL 1

DATE: 07.07.20 JOB N°: 40007
 SCALE: 1: 100 @ A1 REVISION N°: 3
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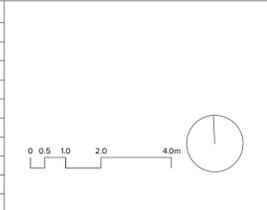
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2	16.06.20	LODGEMENT			



PROJECT:
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 OAKLEIGH - OFFICE DEVELOPMENT

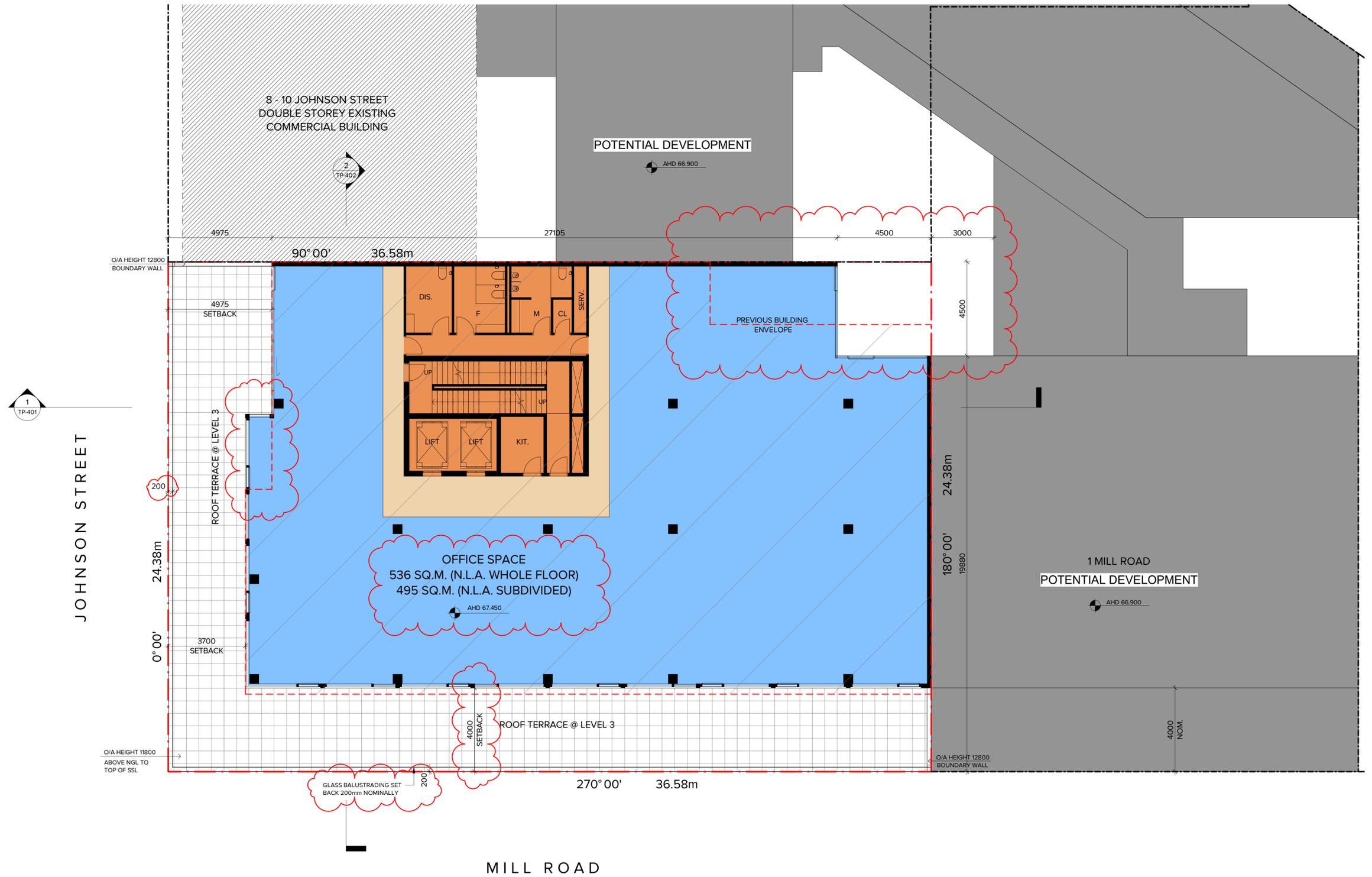
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 PROPOSED FLOOR PLAN - LEVEL 2

DATE:	07.07.20	JOB N°:	40007
SCALE:	1: 100 @ A1	REVISION N°:	2
DRAWN:	JR		
DRAWING STATUS:	TOWNPLANNING	DRAWING N°:	TP-207

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2	16.06.20	LODGEMENT			



PROJECT:
 12-14 JOHNSON STREET
 OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:
 PROPOSED FLOOR PLAN - LEVEL 3

DATE: 07.07.20 JOB N°: 40007

SCALE: 1:100 @ A1 REVISION N°: 2

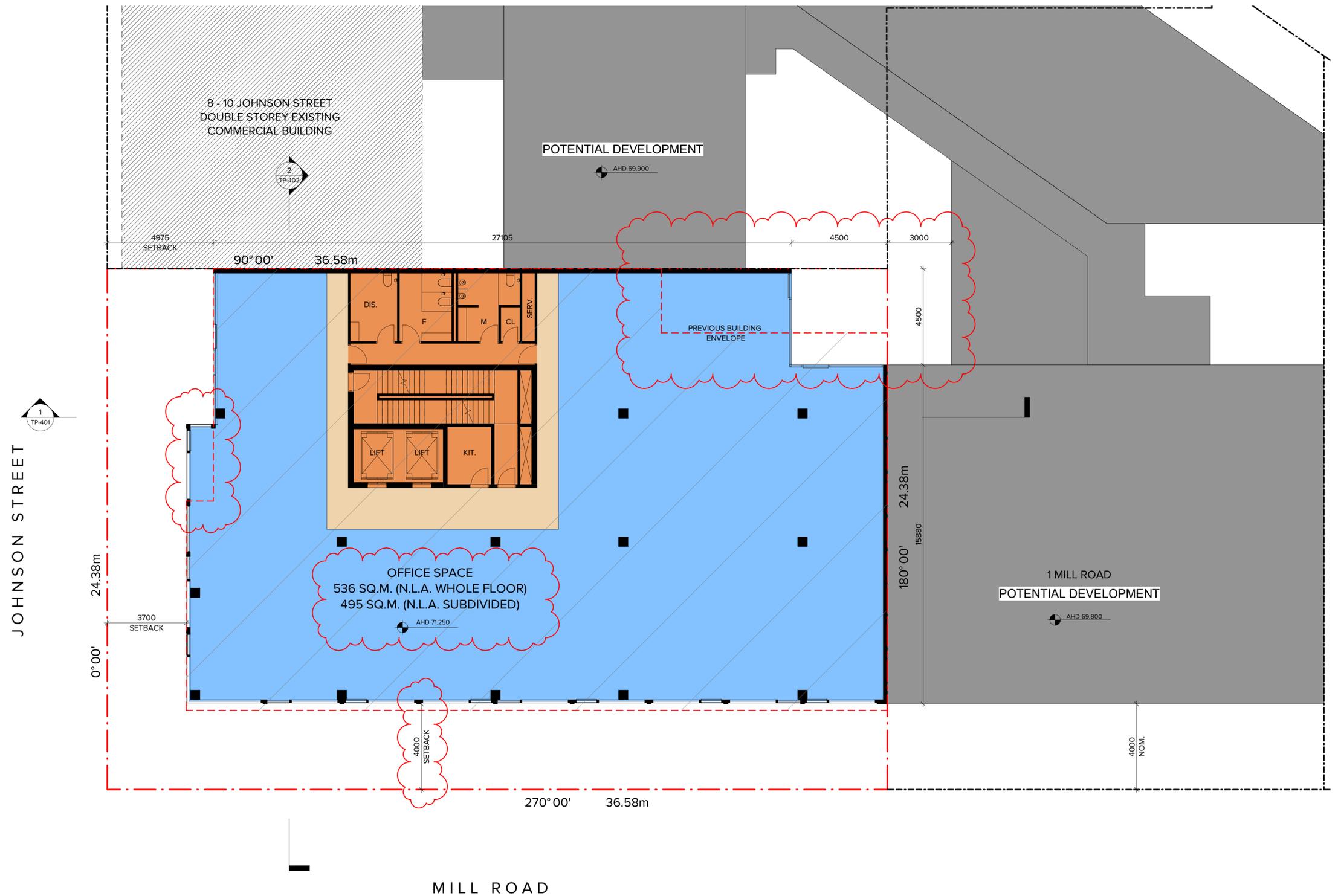
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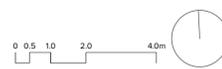
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2	16.06.20	LODGEMENT			



PROJECT:
 12-14 JOHNSON STREET
 OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:
 PROPOSED FLOOR PLAN - LEVEL 4

DATE: 07.07.20 JOB N°: 40007

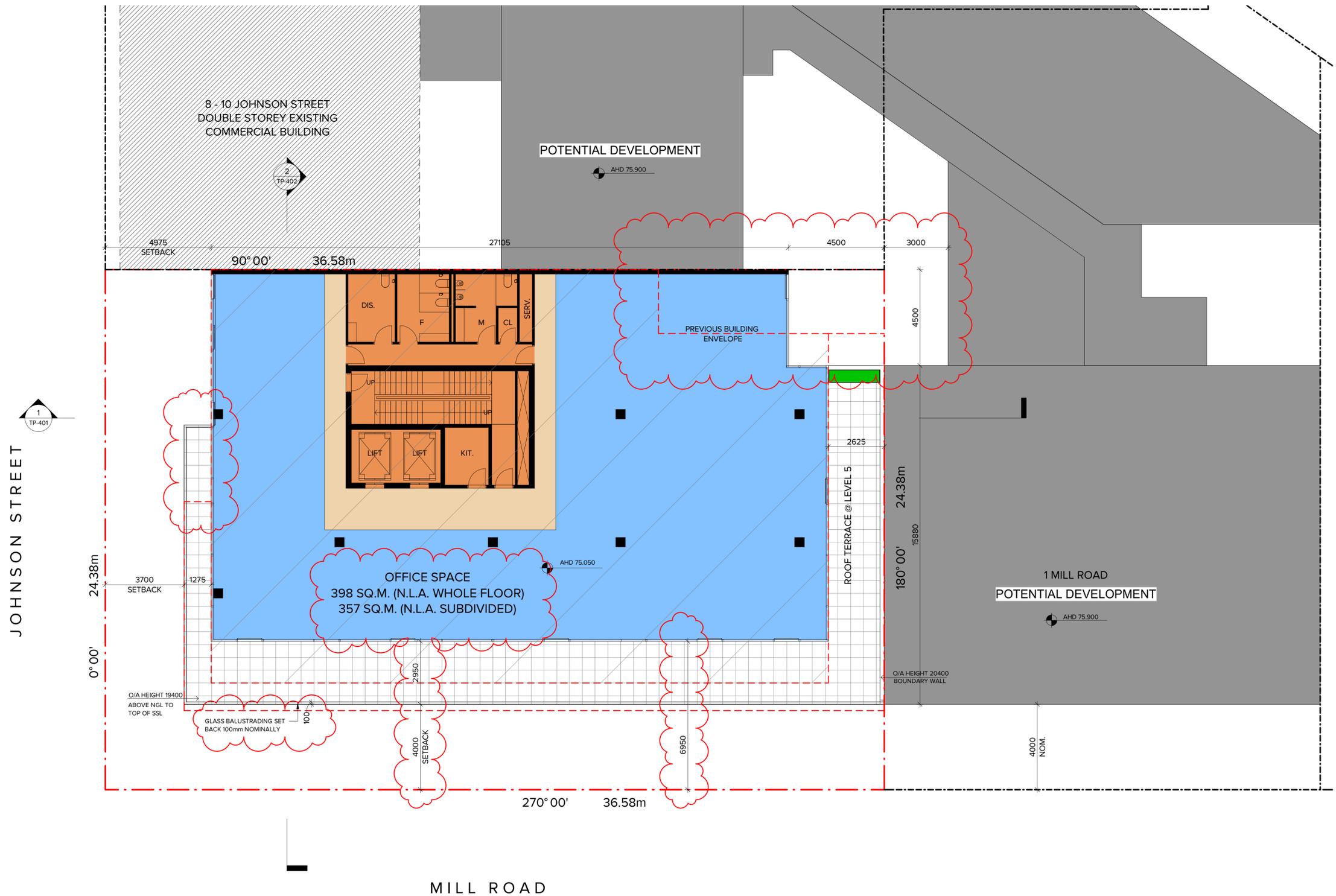
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DRAWN: JR

DRAWING STATUS: TOWNPLANNING DRAWING N°: TP-209

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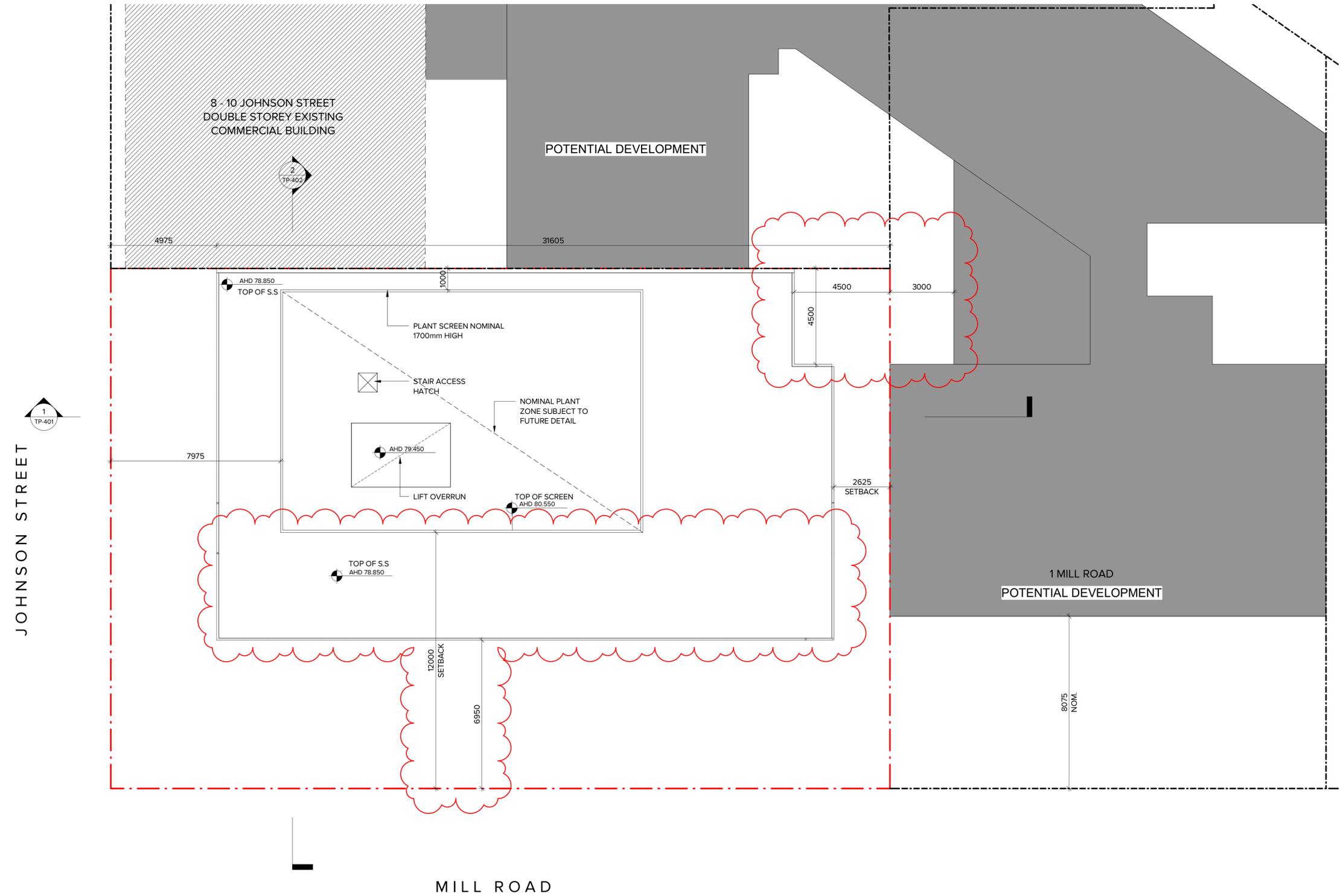
REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
1	01.06.20	UPDATED SETBACKS			
2	16.06.20	LODGEMENT			



PROJECT:
 12-14 JOHNSON STREET
 OAKLEIGH - OFFICE DEVELOPMENT
 DRAWING TITLE:
 PROPOSED FLOOR PLAN - LEVEL 5

DATE: 07.07.20 JOB N°: 40007
 SCALE: 1: 100 @ A1 REVISION N°: 2
 DRAWN: JR
 DRAWING STATUS: TOWNPLANNING DRAWING N°: TP-210

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1	01.06.20	UPDATED SETBACKS			
2	16.06.20	LODGEMENT			



PROJECT:
 12-14 JOHNSON STREET
 OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:
 PROPOSED FLOOR PLAN - ROOF

DATE: 07.07.20 JOB N°: 40007
 SCALE: 1: 100 @ A1 REVISION N°: 2
 DRAWN: JR
 DRAWING STATUS: TOWNPLANNING DRAWING N°: TP-211

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EXTERNAL FINISHES LEGEND

- (AW01) COMMERCIAL ALUMINIUM WINDOW FRAMING SYSTEM - CUSTOM DESIGN IN ANODIZED FINISH AAF - EVERSFIELD COLOUR : BURNT SIENNA E29TM (MATT) OR SIMILAR APPROVED
- (AW02) COMMERCIAL ALUMINIUM WINDOW FRAMING SYSTEM - CUSTOM DESIGN IN ANODIZED FINISH AAF - EVERSFIELD COLOUR : MEDALLION BRONZE E44TL (ILLUSTRO) OR SIMILAR APPROVED
- (AW03) COMMERCIAL ALUMINIUM WINDOW FRAMING SYSTEM - CUSTOM DESIGN IN ANODIZED FINISH AAF - EVERSFIELD COLOUR : SEA BREEZE E67TM (MATT) OR SIMILAR APPROVED
- (AP02) ALUMINIUM SHEET CLADDING TO MATCH AW02 COLOUR
- (AP03) PERFORATED ALUMINIUM SCREEN TO MATCH AW01 COLOUR
- (AP04) PERFORATED ALUMINIUM SCREEN TO MATCH AW02 COLOUR
- (AP05) PERFORATED ANODIZED ALUMINIUM PLANT SCREEN TO MATCH AW03 COLOUR 'SEA BREEZE'
- (GL01) DARK GREY COLOUR GLASS
- (GL02) MID GREY COLOUR GLASS
- (GL03) SILVER GREY COLOUR GLASS
- (GL04) CLEAR GLASS
- (GL05) FRAMELESS TOUGHENED CLEAR GLASS ENTRY DOORS
- (PC1) PRECAST CONCRETE / MASONRY WALL COLOUR - LIGHT GREY
- (PC1R) NOMINAL 20mm REBATE TO MASONRY WALL PAINTED TO MATCH COLOUR AW02
- (PC2R) NOMINAL 20mm REBATE TO MASONRY WALL PAINTED TO MATCH COLOUR AW01
- (BA01) PROPOSED PROPRIETARY BALUSTRADING SYSTEM. DARK GREY TINTED FRAMELESS GLASS BALUSTRADE TO HEIGHT INDICATED ON ELEVATIONS FIXED TO FLOOR. MINIMAL HANDRAIL SECTION TO TOP GLAZING EDGE.
- (AC01) ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH AW01 'BURNT SIENNA' ANODIZED FINISH.
- (AC02) ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH AW02 'MEDALLION BRONZE' ANODIZED FINISH.



8-10 JOHNSON STREET



IT IS ASSUMED THAT THE EXISTING 2-STOREY BUILDING AT 8-10 JOHNSON STREET WOULD REMAIN AS PART OF ANY FUTURE RE-DEVELOPMENT

GROUND FLOOR RETAIL TENANCY WINDOWS TO HAVE CAPACITY FOR SLIDING DOOR PANELS TO SUIT TENANT REQUIREMENTS (NOT ALL PANELS WILL BE OPENABLE)

3380 ABOVE FOOTPATH

PROPOSED CANOPY TO MILL ROAD AND JOHNSON STREET. REFER PLANS

**WEST ELEVATION
 JOHNSON STREET**



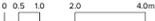
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1	01.06.20	UPDATED SETBACKS			
2	16.06.20	LODGEMENT			



PROJECT:
**12-14 JOHNSON STREET
 OAKLEIGH - OFFICE DEVELOPMENT**

DRAWING TITLE:
WEST ELEVATION

DATE: 07.07.20 JOB N°: 40007
 SCALE: 1: 100 @ A1 REVISION N°: 2
 DRAWN: JR
 DRAWING STATUS: TOWNPLANNING DRAWING N°: TP-301

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- (AP04) PERFORATED ALUMINIUM SCREEN TO MATCH AW02 COLOUR
- (AP05) PERFORATED ANODIZED ALUMINIUM PLANT SCREEN TO MATCH AW03 COLOUR 'SEA BREEZE'
- (GL01) DARK GREY COLOUR GLASS
- (GL02) MID GREY COLOUR GLASS
- (GL03) SILVER GREY COLOUR GLASS
- (GL04) CLEAR GLASS
- (GL05) FRAMELESS TOUGHENED CLEAR GLASS ENTRY DOORS
- (PC1) PRECAST CONCRETE / MASONRY WALL COLOUR - LIGHT GREY
- (PC1R) NOMINAL 20mm REBATE TO MASONRY WALL PAINTED TO MATCH COLOUR AW02
- (PC2R) NOMINAL 20mm REBATE TO MASONRY WALL PAINTED TO MATCH COLOUR AW01
- (BA01) PROPOSED PROPRIETARY BALUSTRADING SYSTEM. DARK GREY TINTED FRAMELESS GLASS BALUSTRADE TO HEIGHT INDICATED ON ELEVATIONS FIXED TO FLOOR. MINIMAL HANDRAIL SECTION TO TOP GLAZING EDGE.
- (AC01) ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH AW01 'BURNT SIENNA' ANODIZED FINISH.
- (AC02) ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH AW02 'MEDALLION BRONZE' ANODIZED FINISH.



**SOUTH ELEVATION
MILL ROAD**



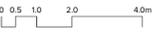
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2	16.06.20	LODGEMENT			



PROJECT:
12-14 JOHNSON STREET
OAKLEIGH - OFFICE DEVELOPMENT

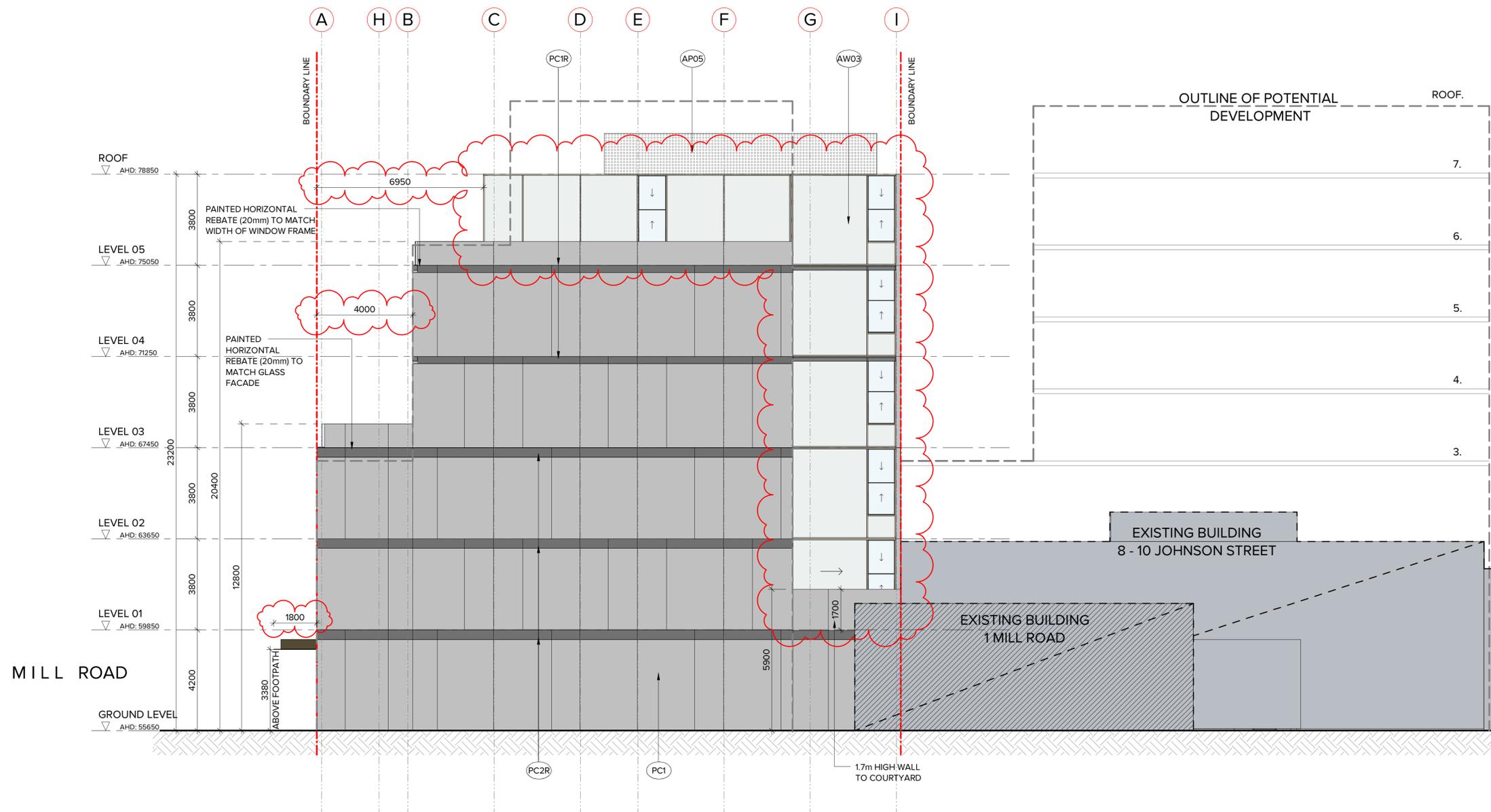
DRAWING TITLE:
SOUTH ELEVATION

DATE:	07.07.20	JOB N°:	40007
SCALE:	1: 100 @ A1	REVISION N°:	2
DRAWN:	JR		
DRAWING STATUS:	TOWNPLANNING	DRAWING N°:	TP-302

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- AW03 COMMERCIAL ALUMINIUM WINDOW FRAMING SYSTEM - CUSTOM DESIGN IN ANODIZED FINISH AAF - EVERSFIELD COLOUR : SEA BREEZE E67TM (MATT) OR SIMILAR APPROVED
- AP02 ALUMINIUM SHEET CLADDING TO MATCH AW02 COLOUR
- AP03 PERFORATED ALUMINIUM SCREEN TO MATCH AW01 COLOUR
- AP04 PERFORATED ALUMINIUM SCREEN TO MATCH AW02 COLOUR
- AP05 PERFORATED ANODIZED ALUMINIUM PLANT SCREEN TO MATCH AW03 COLOUR 'SEA BREEZE'
- GL01 DARK GREY COLOUR GLASS
- GL02 MID GREY COLOUR GLASS
- GL03 SILVER GREY COLOUR GLASS
- GL04 CLEAR GLASS
- GL05 FRAMELESS TOUGHENED CLEAR GLASS ENTRY DOORS
- PC1 PRECAST CONCRETE / MASONRY WALL COLOUR - LIGHT GREY
- PC1R NOMINAL 20mm REBATE TO MASONRY WALL PAINTED TO MATCH COLOUR AW02
- PC2R NOMINAL 20mm REBATE TO MASONRY WALL PAINTED TO MATCH COLOUR AW01
- BA01 PROPOSED PROPRIETARY BALUSTRADING SYSTEM. DARK GREY TINTED FRAMELESS GLASS BALUSTRADE TO HEIGHT INDICATED ON ELEVATIONS FIXED TO FLOOR. MINIMAL HANDRAIL SECTION TO TOP GLAZING EDGE.
- AC01 ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH AW01 'BURNT SIENNA' ANODIZED FINISH.
- AC02 ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH AW02 'MEDALLION BRONZE' ANODIZED FINISH.



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2	16.06.20	LODGEMENT			



PROJECT:
12-14 JOHNSON STREET
OAKLEIGH - OFFICE DEVELOPMENT

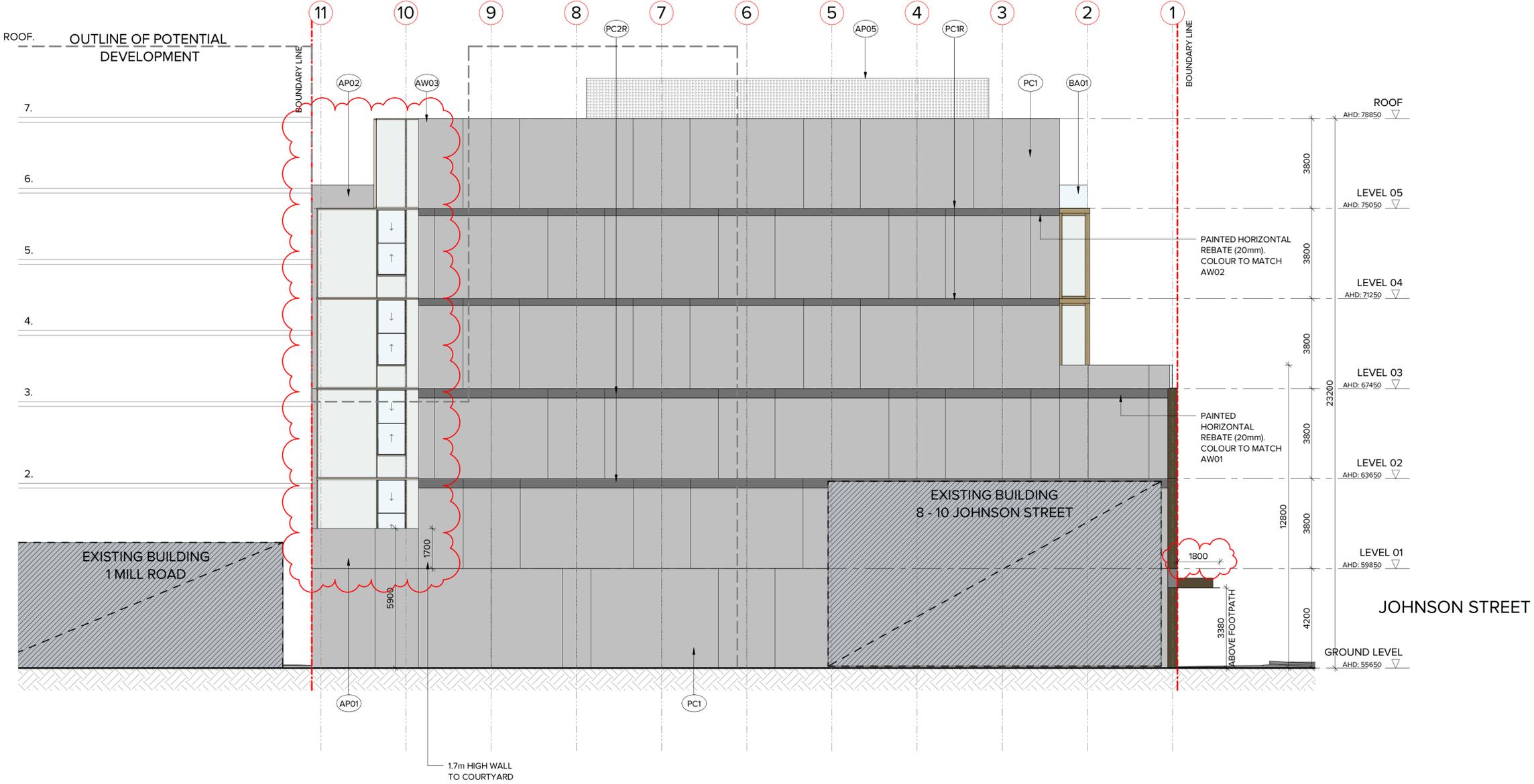
DRAWING TITLE:
EAST ELEVATION

DATE:	07.07.20	JOB N°:	40007
SCALE:	1: 100 @ A1	REVISION N°:	2
DRAWN:	JR		
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2	16.06.20	LODGEMENT			

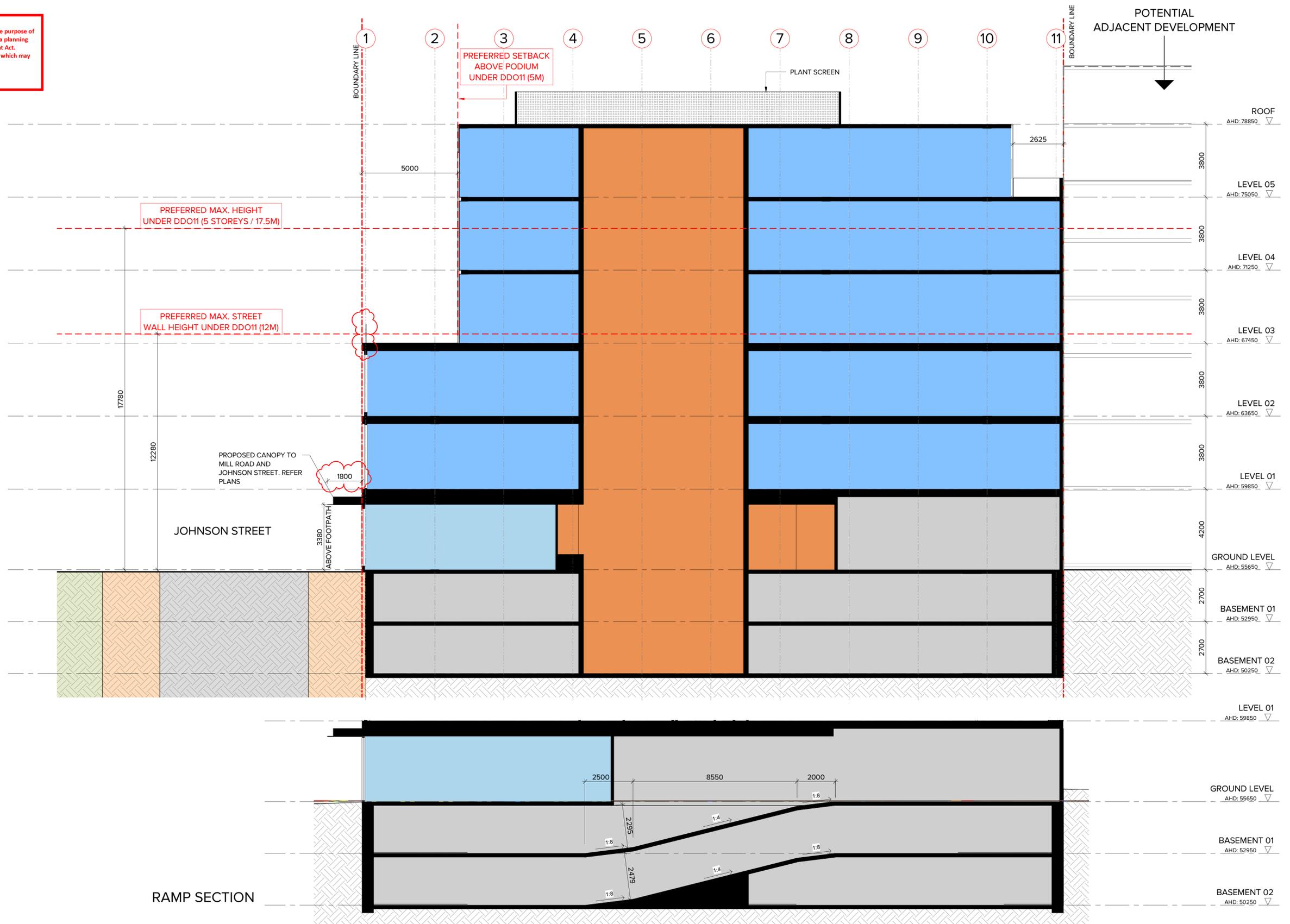


PROJECT:
 12-14 JOHNSON STREET
 OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:
 NORTH ELEVATION

DATE: 07.07.20 JOB N°: 40007
 SCALE: 1:100 @ A1 REVISION N°: 2
 DRAWN: JR
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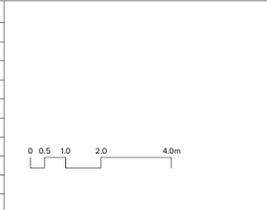
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2	16.06.20	LODGEMENT			

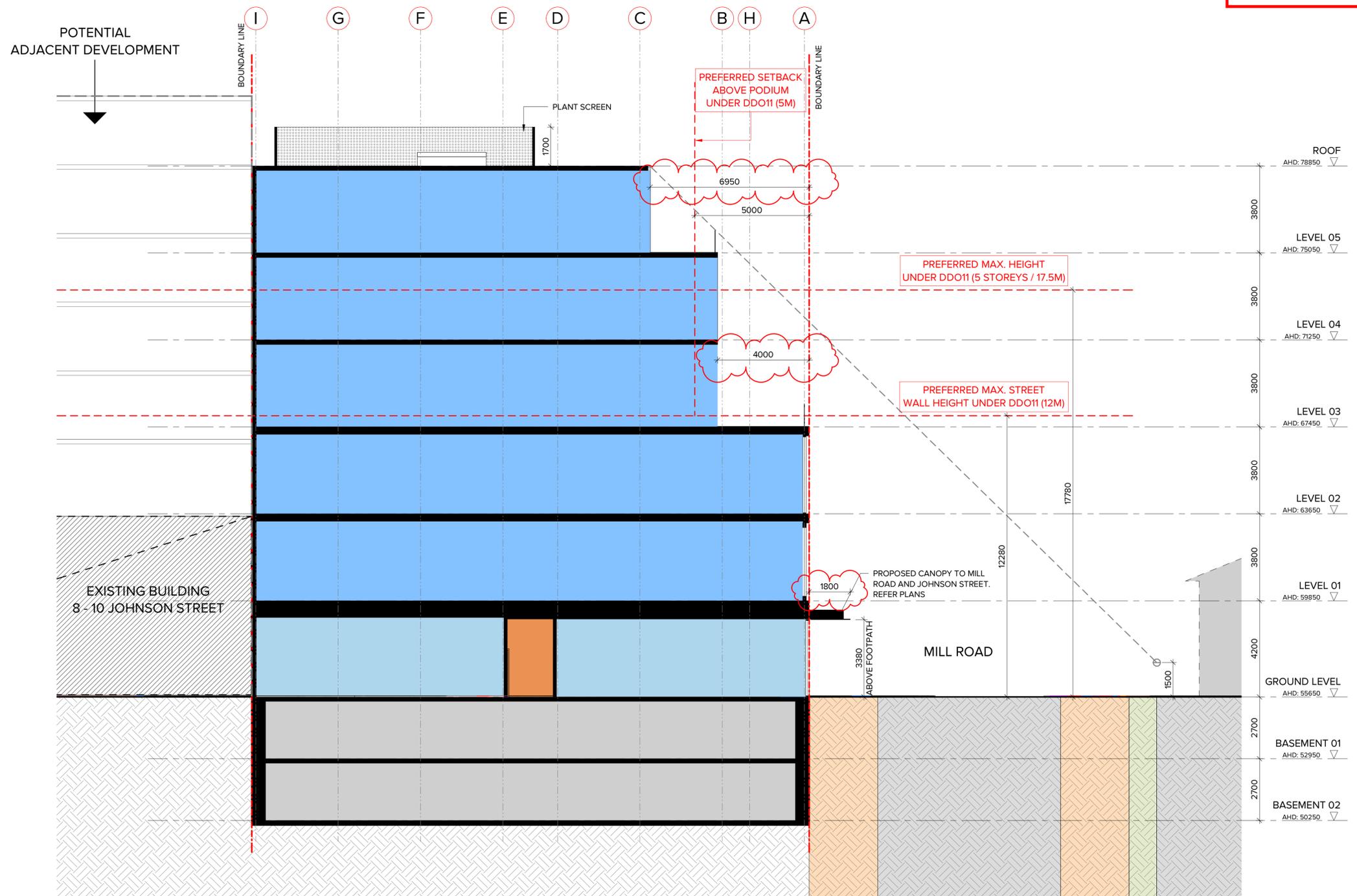


PROJECT:
**12-14 JOHNSON STREET
 OAKLEIGH - OFFICE DEVELOPMENT**

DRAWING TITLE:
PROPOSED SECTION 01

DATE:	07.07.20	JOB N°:	40007
SCALE:	1: 100 @ A1	REVISION N°:	2
DRAWN:	JR		
DRAWING STATUS:	TOWNPLANNING	DRAWING N°:	TP-401

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PROJECT:
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 OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:
 PROPOSED SECTION 02

DATE: 07.07.20 JOB N°: 40007
 SCALE: 1:100 @ A1 REVISION N°: 2
 DRAWN: JR
 DRAWING STATUS: TOWNPLANNING DRAWING N°: TP-402

ADDITIONAL SHADOWS CAST BY PROPOSED BUILDING
 SHADOWS CAST BY EXISTING BUILT FORM

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September 22 - 9am

September 22 - 10am

September 22 - 11am

September 22 - 12noon

September 22 - 1pm

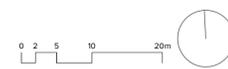
September 22 - 2pm



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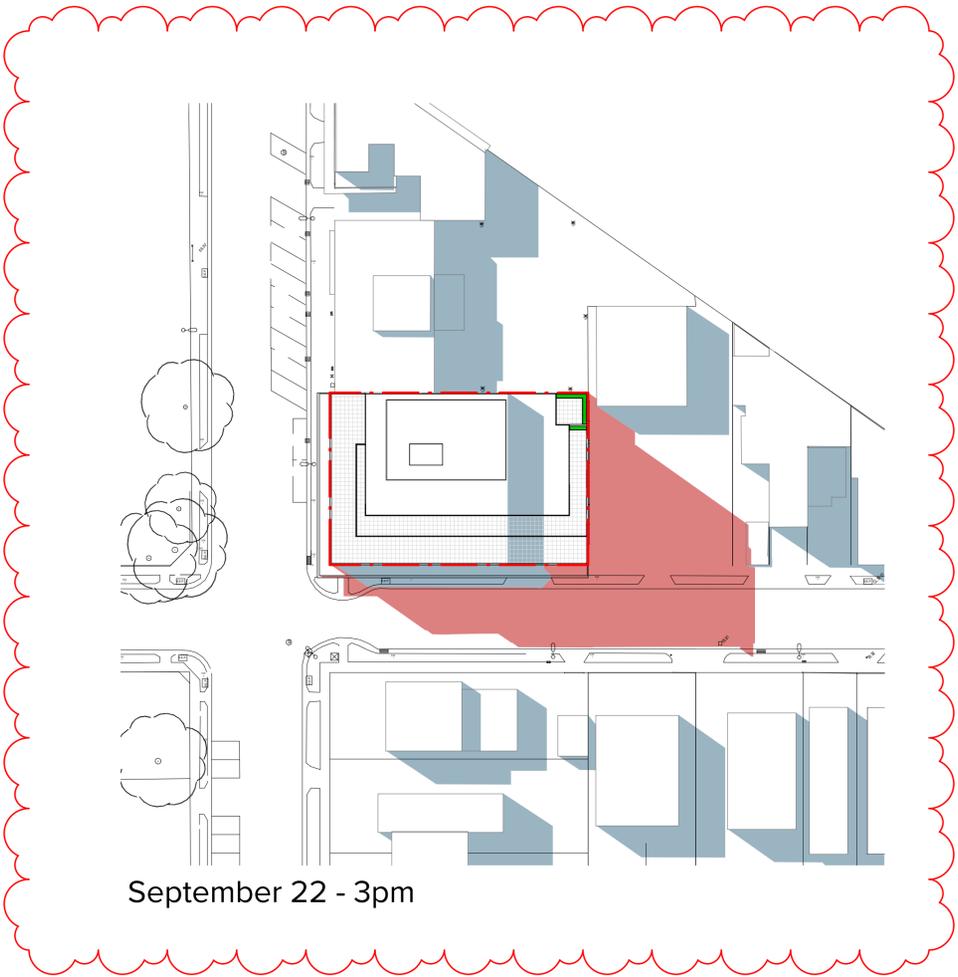
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2	16.06.20	LODGEMENT			



PROJECT:
 12-14 JOHNSON STREET
 OAKLEIGH - OFFICE DEVELOPMENT
 DRAWING TITLE:
 SHADOW DIAGRAMS

DATE: 16.06.20 JOB N°: 40007
 SCALE: 1: 500 @ A1 REVISION N°: 2
 DRAWN: Author
 DRAWING STATUS: TOWNPLANNING DRAWING N°: TP-600



September 22 - 3pm



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2	16.06.20	LODGEMENT			



PROJECT:
 12-14 JOHNSON STREET
 OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:
 SHADOW DIAGRAMS

DATE: 16.06.20 JOB N°: 40007
 SCALE: 1 : 500 @ A1 REVISION N°: 2
 DRAWN: Author
 DRAWING STATUS: TOWNPLANNING DRAWING N°: TP-601