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TP03	EXISTING - SITE PLAN GROUND FLOOR	D
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TP00.0 - REMOVED  
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 TP00.3 - REMOVED  
 TP24 - REMOVED

TP - SHEET LIST		
Sheet Number	Sheet Name	Current Revision
TP14	PROPOSED - THIRD FLOOR	F
TP15	PROPOSED - FOURTH FLOOR	F
TP16	PROPOSED - ROOF LEVEL	F
TP17	PROPOSED - ELEVATIONS	F
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TP19A	PROPOSED - SECTIONS	F
TP20	SHADOW DIAGRAM	F
TP21	SHADOW DIAGRAM	F
TP23	SCREENING SECTIONS	E

**PROPOSED SITE**  
 161 - 169 JELLS ROAD, WHEELERS HILL

LG	- BOH+ PUBLIC - 1103m <sup>2</sup>
	- CARPARK - 2350 m <sup>2</sup>
GROUND	- BOH + PUBLIC - 1275 m <sup>2</sup>
	- CARPARK - 2420 m <sup>2</sup>
FIRST	- PUBLIC - 1860m <sup>2</sup>
HOUSE 1	- 860 m <sup>2</sup> - 12 RESIDENTS
HOUSE 2	- 999 m <sup>2</sup> - 12 RESIDENTS
HOUSE 3	- 852 m <sup>2</sup> - 12 RESIDENTS
HOUSE 4	- 976 m <sup>2</sup> - 12 RESIDENTS
HOUSE 5	- 892 m <sup>2</sup> - 12 RESIDENTS
HOUSE 6	- 865 m <sup>2</sup> - 12 RESIDENTS
HOUSE 7	- 876 m <sup>2</sup> - 12 RESIDENTS
HOUSE 8	- 939 m <sup>2</sup> - 12 RESIDENTS
HOUSE 9	- 1099 m <sup>2</sup> - 14 RESIDENTS
HOUSE 10	- 865 m <sup>2</sup> - 12 RESIDENTS
HOUSE 11	- 870 m <sup>2</sup> - 12 RESIDENTS
HOUSE 12	- 939 m <sup>2</sup> - 12 RESIDENTS
HOUSE 13	- 1009 m <sup>2</sup> - 12 RESIDENTS
HOUSE 14	- 865 m <sup>2</sup> - 12 RESIDENTS
HOUSE 15	- 880 m <sup>2</sup> - 12 RESIDENTS
HOUSE 16	- 921 m <sup>2</sup> - 12 RESIDENTS
TOTAL	- 23,714 m <sup>2</sup> - 194 RESIDENTS - 1 GUEST SUITE
CAR PARKS	- 111 (includes 12x Visitor spaces) - 4 Motor bike parks
BIKE PARKS	- 24
SITE AREA	= 8106.2m <sup>2</sup> + 4073m <sup>2</sup> (EXISTING) = 12179.2M <sup>2</sup>
SITE COVERAGE	= 7849m <sup>2</sup> - 64.4%
SITE PERMEABILITY	= 28%

**EXISTING SITE - 'THE WILLOWS'**  
 171 - 175 JELLS ROAD, WHEELERS HILL

NO. BEDSITS = 60 BEDS  
 REFURBISHED REDUCED = 55 BEDS  
 NO. CARS = 29 CAR SPACES  
 SITE AREA = 4073m<sup>2</sup>  
 SITE COVERAGE = 72.01%



CHT Architects Pty Ltd  
 44 Oxford Street  
 Collingwood VIC 3066  
 Post Office Box 1352  
 Collingwood VIC 3066  
 Telephone 03 9417 1944  
 Facsimile 03 9415 1847

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CHT Architects Pty Ltd  
 ABN 29 108 008 519  
 Architecture  
 Interior Design  
 Urban Design

info@chtarchitects.com.au  
 chtarchitects.com.au

Project

**THE WILLOWS WHEELERS HILL**  
 161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL

Client

**LIFEVUE RESIDENTIAL CARE**

Amendments

No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/09/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

Title

COVER PAGE

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 NOT FOR CONSTRUCTION

Sheet No.

TP00

Scale

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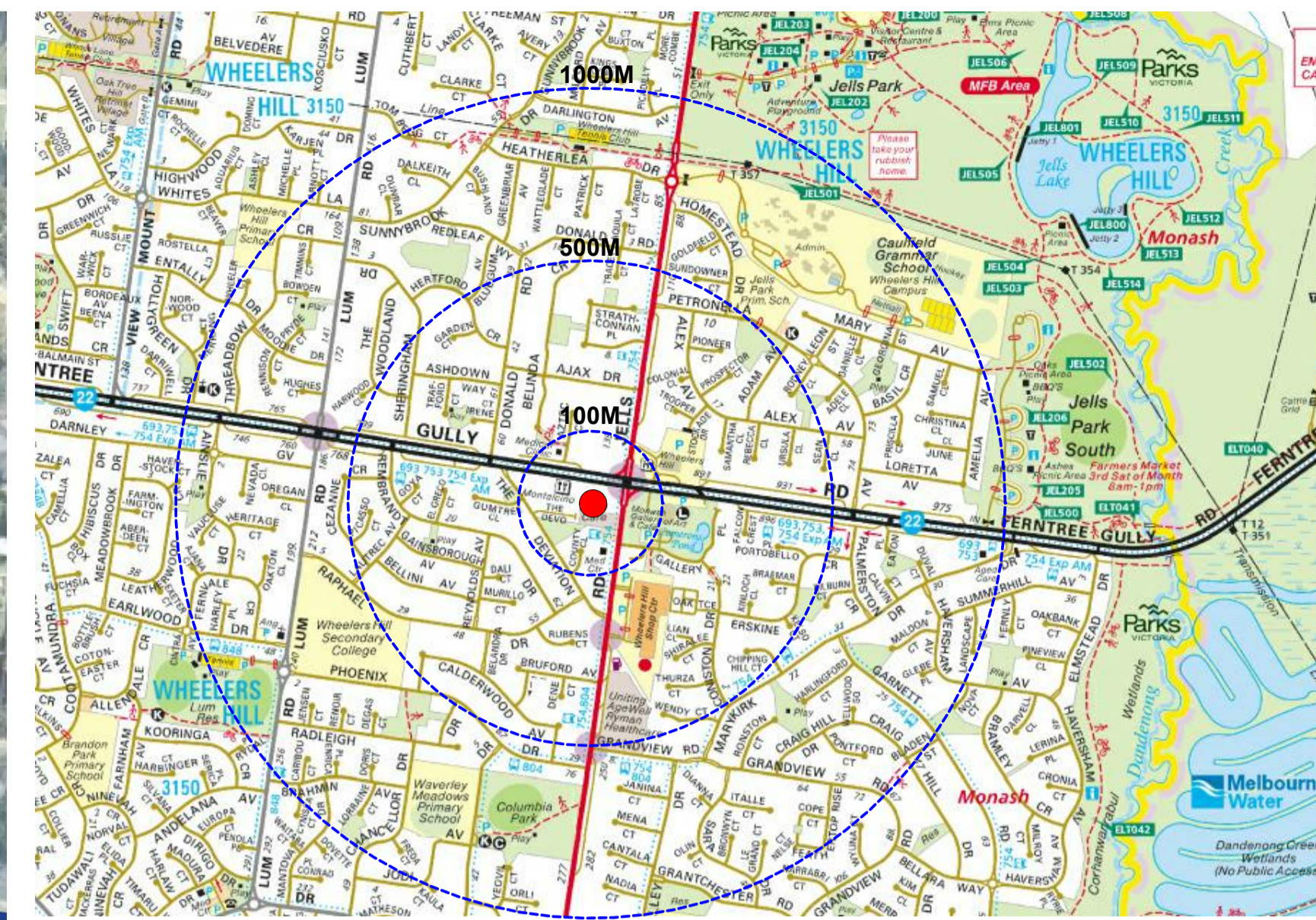
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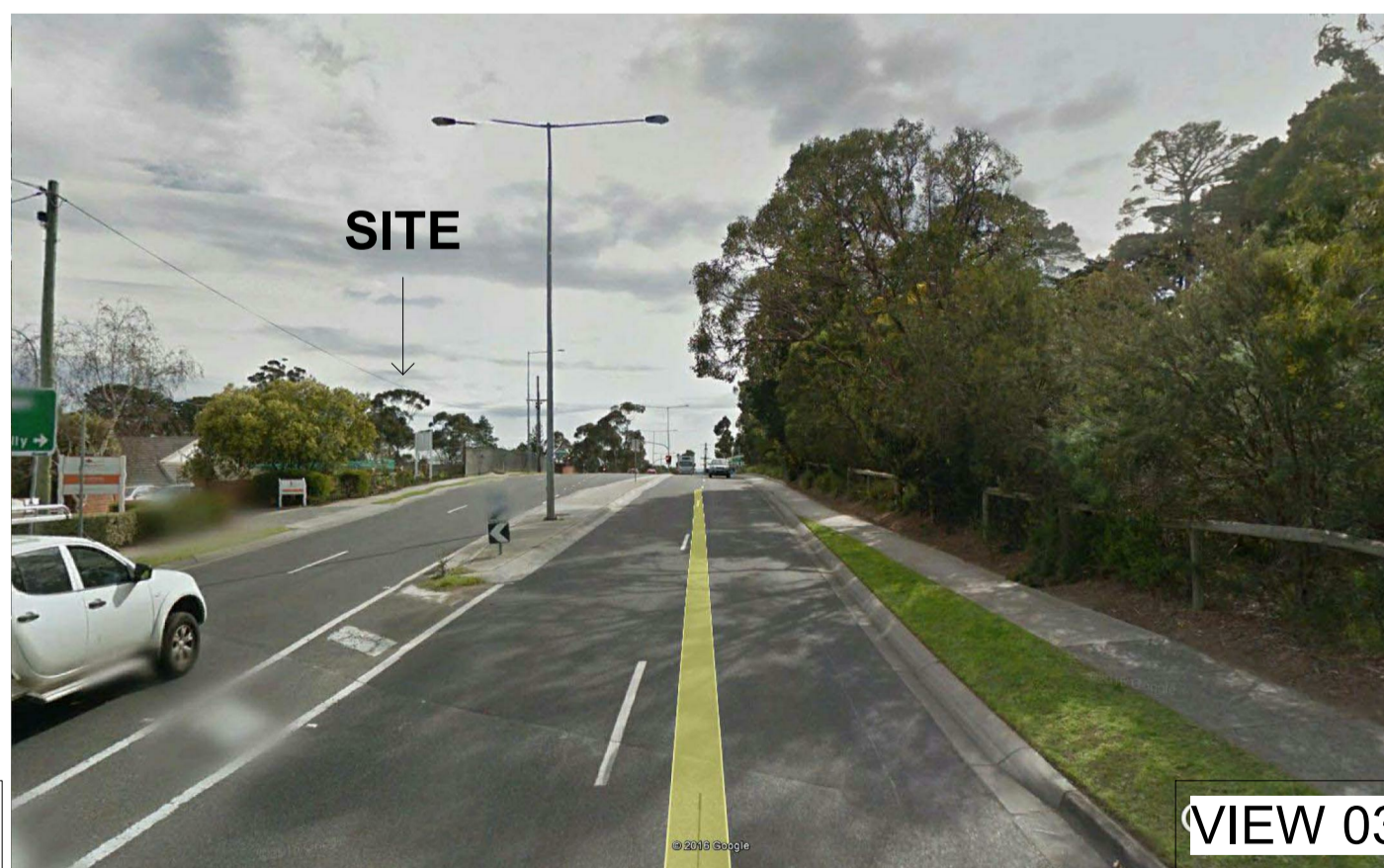
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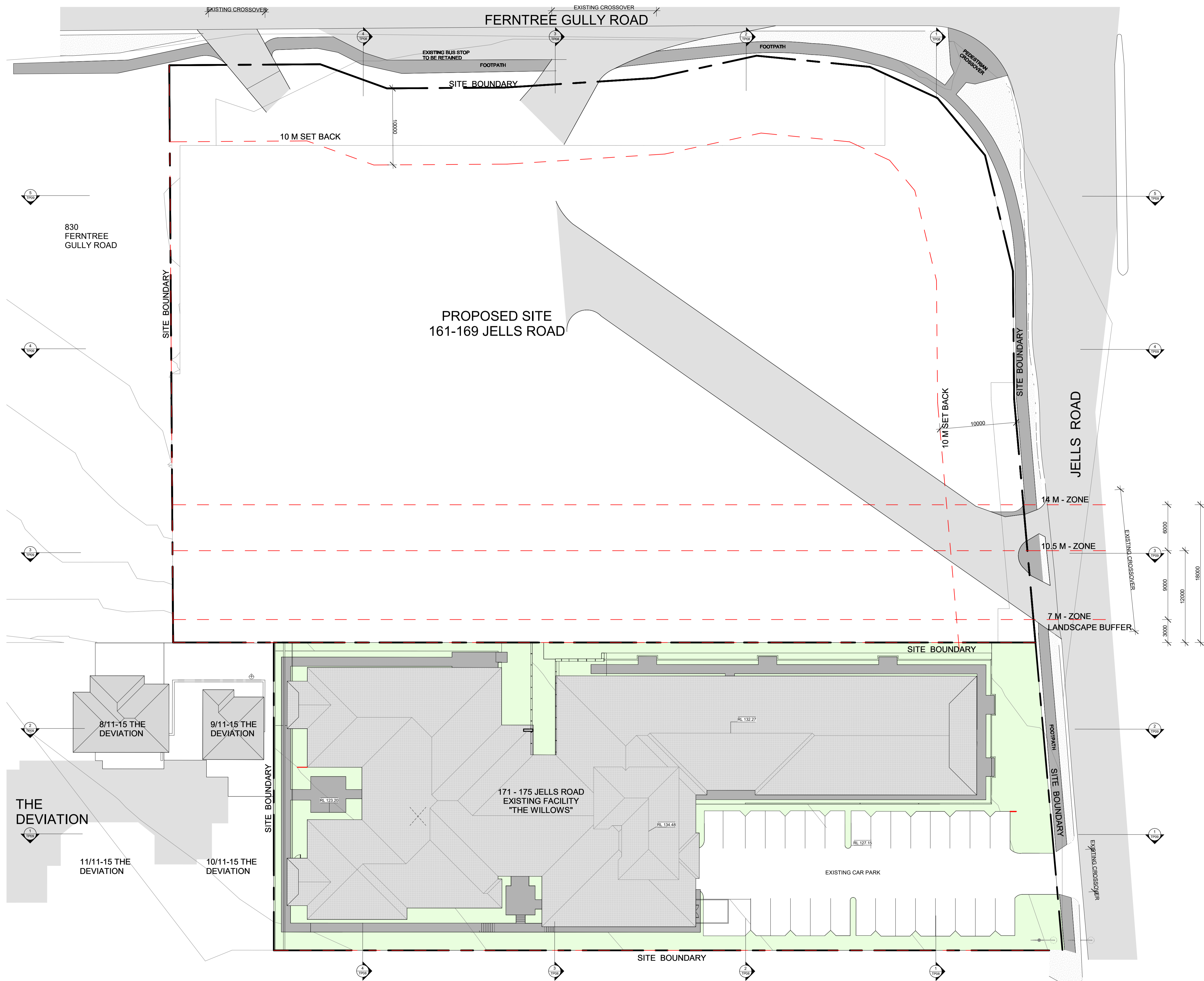
16052



EDUCATION		RESTAURANTS & CAFES	
1. WHEELERS HILL SECONDARY COLLEGE	500M	1. WHEELERS HILL HOTEL	100M
2. JELLS PARK PRIMARY SCHOOL	600M	2. IL DESIDERIO WOODFIRE PIZZERIA E TRATTORIA	100M
3. CAULFIELD GRAMMAR SCHOOL	800M	3. CHUMANCHU & CAFE @MGA WHEELERS HILL	100M
4. ST. JUSTIN'S CATHOLIC PRIMARY SCHOOL	900M	4. THE HILLS PANTRY	350M
5. WAVERLY MEADOWS PRIMARY	1000M		
6. MARIA MONTESSORI PRE-SCHOOL CENTRE	1200M	SHOPPING	
7. WHEELERS HILL PRIMARY SCHOOL	1300M	1. WHEELERS HILL SHOPPING CENTRE	300M
		2. BWS	150M
PARKS & RECREATION		EMERGENCY FACILITIES	
1. MONASH GALLERY RESERVE	100M	1. WHEELERS HILL CLINIC	100M
2. COLUMBIA PARK	700M	2. JELLS RD MEDICAL CLINIC	140M
3. OAKS PICKING AREA	1000M	3. HEARTSCOPE VICTORIA	500M
4. DANDENONG VALLEY PARKLANDS	1200M	4. MFB STATION NO. 31	2200M
5. CHESTERFIELD FARM	1500M		
7. WAVERLEY PARK FOOTBALL STADIUM	2200M	PUBLIC TRANSPORT	
RETIREMENT FACILITIES		1. BUS ROUTE 693 & 753	<20M
1. WEARY DUNLOP / FRYMAN RETIREMENT COMMUNITY	600M		
2. WAVERLEY HILLS SRS AGED CARE SERVICES	1000M		
3. AVEO OAK TREE HILL RETIREMENT COMMUNITY	1800M		



Amendments	
No.	Date
A	16/08/2017
B	10/07/2018
C	12/04/2019
D	21/08/2019



1 EXISTING SITE PLAN ROOF  
SCALE 1 : 250



CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066

Telephone 03 9417 1944  
Facsimile 03 9415 1847

CHT Architects Pty Ltd  
ABN 29 108 008 519

Architecture  
Interior Design  
Urban Design

info@chtarchitects.com.au  
chtarchitects.com.au

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THE WILLOWS WHEELERS HILL  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL

Client

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Amendments

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A	16/08/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE
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D	21/08/2019	REVISED DESIGN

Title

EXISTING - SITE PLAN

Sheet

PRELIMINARY  
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Sheet No.

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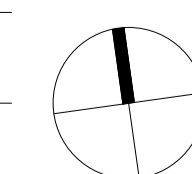
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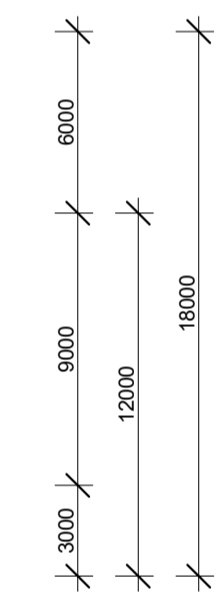
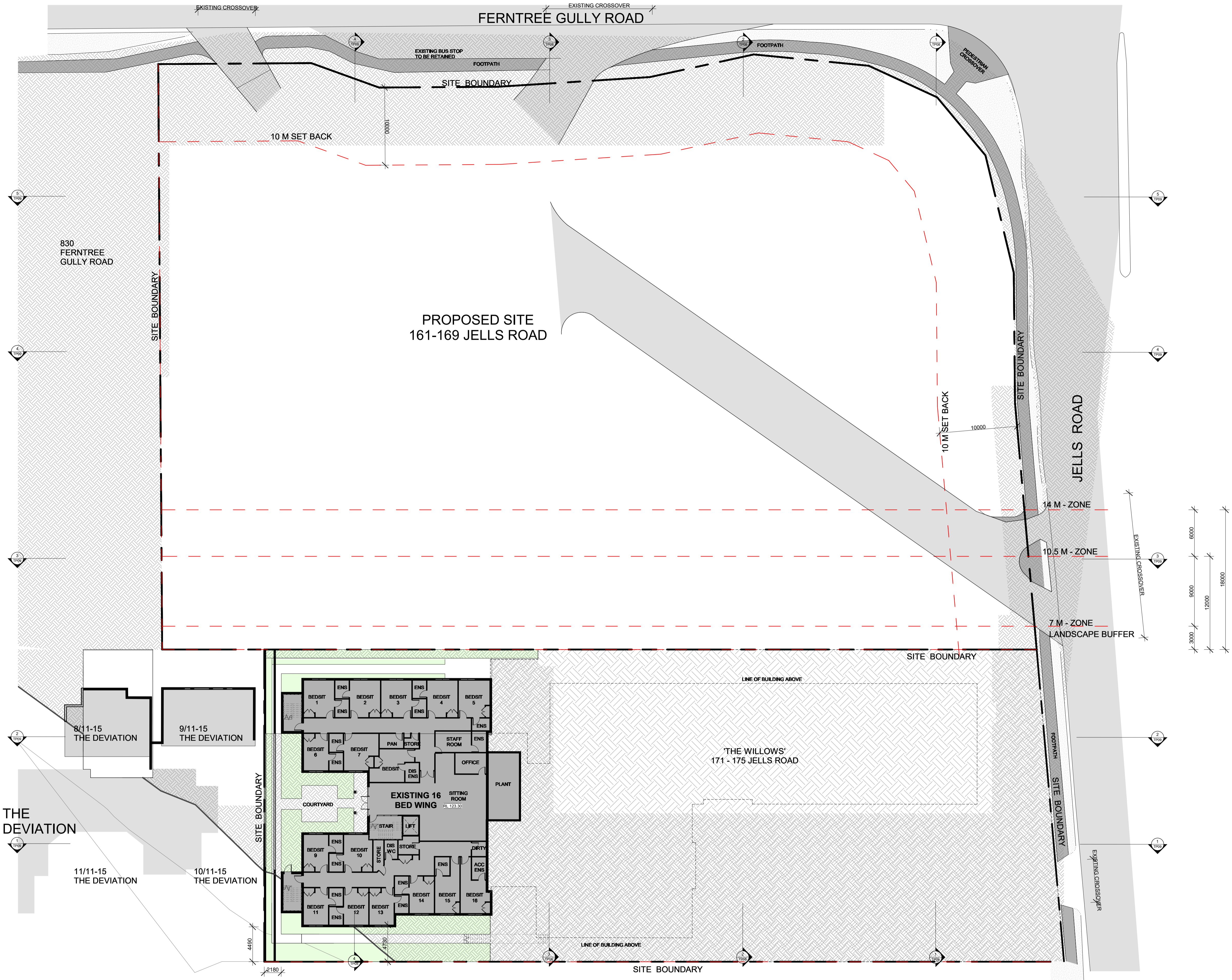
Date

21/08/2019



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CHT Architects Pty Ltd  
 44 Oxford Street  
 Collingwood VIC 3066  
 Post Office Box 1352  
 Collingwood VIC 3066  
 Telephone 03 9417 1944  
 Facsimile 03 9415 1847  
 info@chtarchitects.com.au  
 chtarchitects.com.au

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**THE WILLOWS WHEELERS HILL**  
 161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL  
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**LIFEVUE RESIDENTIAL CARE**

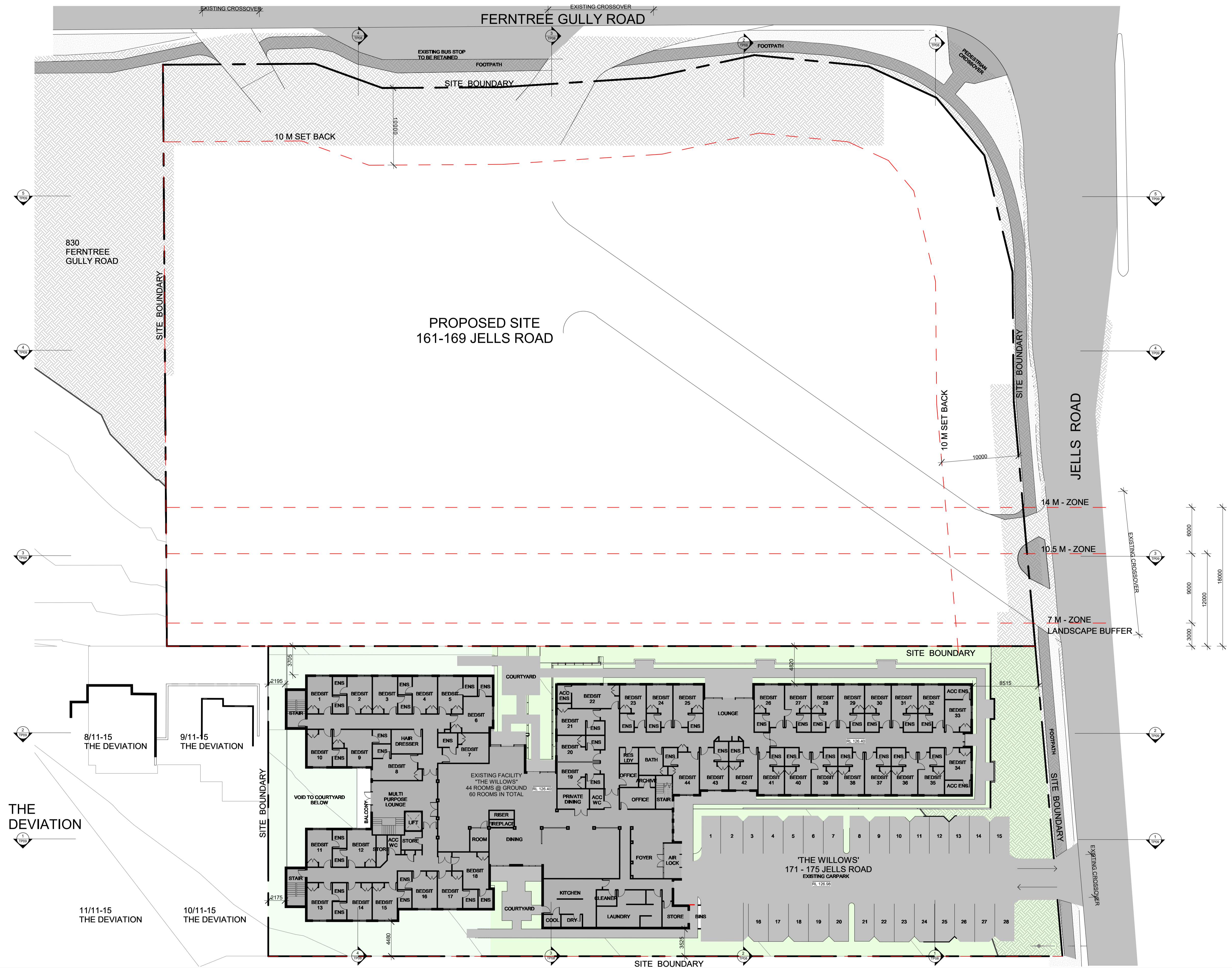
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B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN

Title  
**EXISTING - SITE PLAN LOWER GROUND FLOOR**  
 Sheet  
**PRELIMINARY NOT FOR CONSTRUCTION**

Sheet No.  
**TP02**  
 Scale  
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 Date  
 21/08/2019

Revision  
**D**  
**16052**  
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1 TP - EXISTING GROUND FLOOR PLAN  
SCALE 1: 250



CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

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No.	Date	Notes
A	16/08/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TP047296
B	19/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN

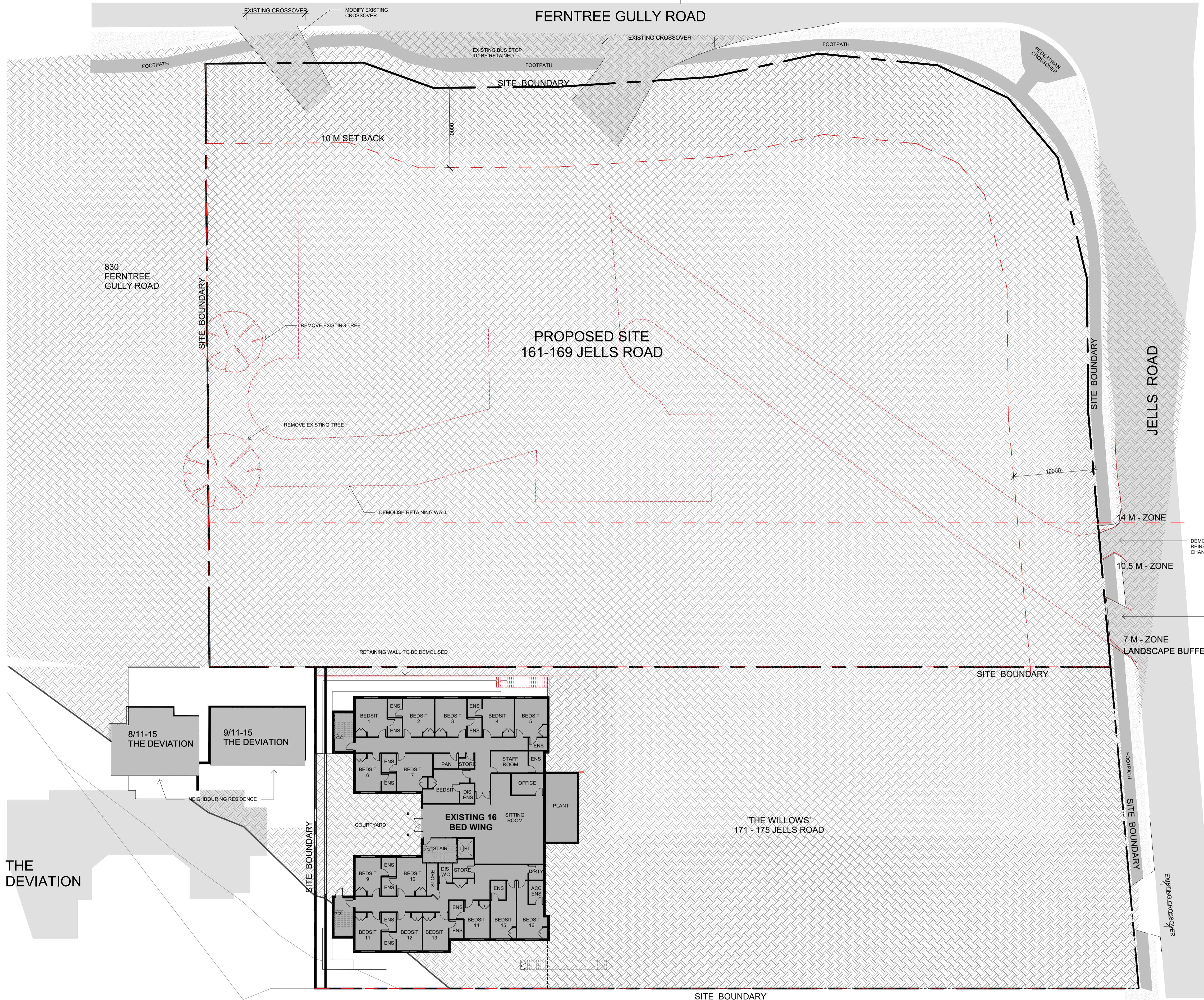
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Date  
21/08/2019

Revision  
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**1 DEMOLITION - LOWER GROUND FLOOR**  
SCALE 1: 250



CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

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161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL

Client

**LIFEVUE RESIDENTIAL CARE**

Amendments

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A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN

Title

**DEMOLITION - LOWER GROUND FLOOR**

Sheet

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NOT FOR CONSTRUCTION

Sheet No.

**TP05**

Revision

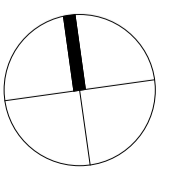
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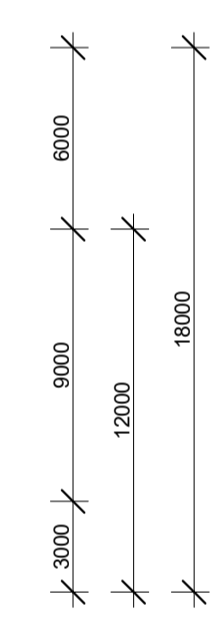
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1 DEMOLITION - GROUND FLOOR PLAN  
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CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

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161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL  
Client  
**LIFEVUE RESIDENTIAL CARE**

No.	Date	Notes
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B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN

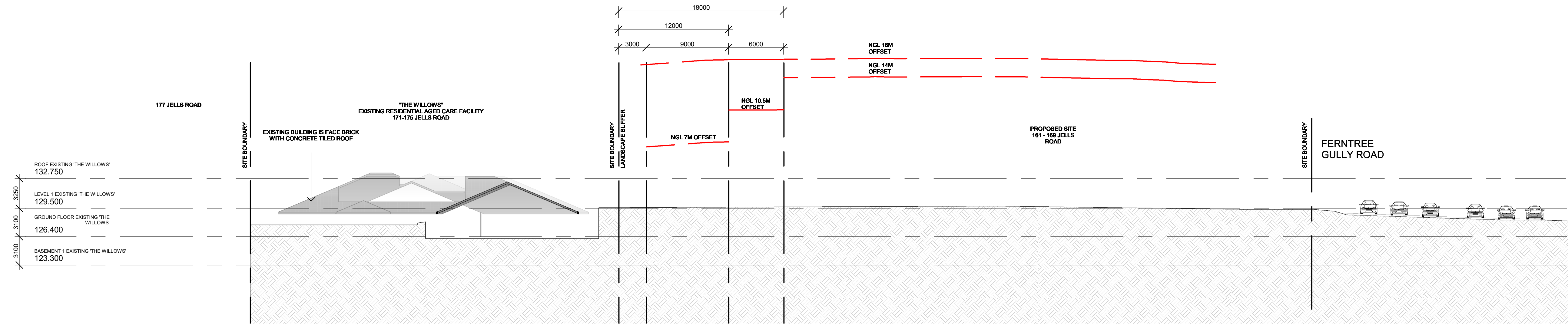
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21/08/2019

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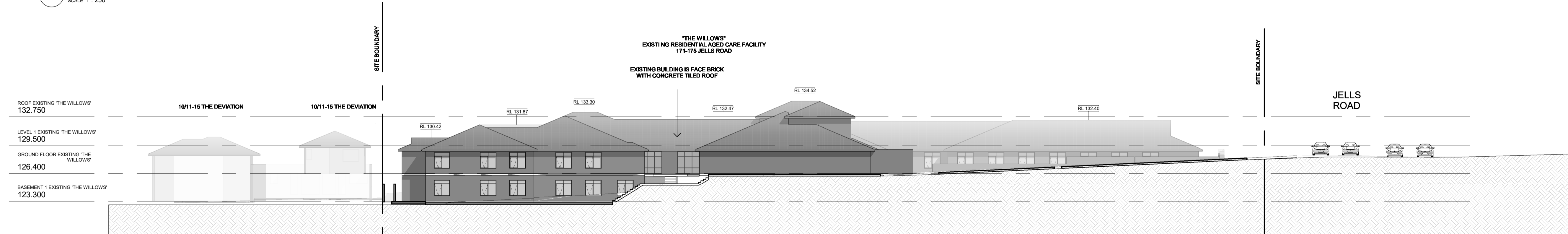




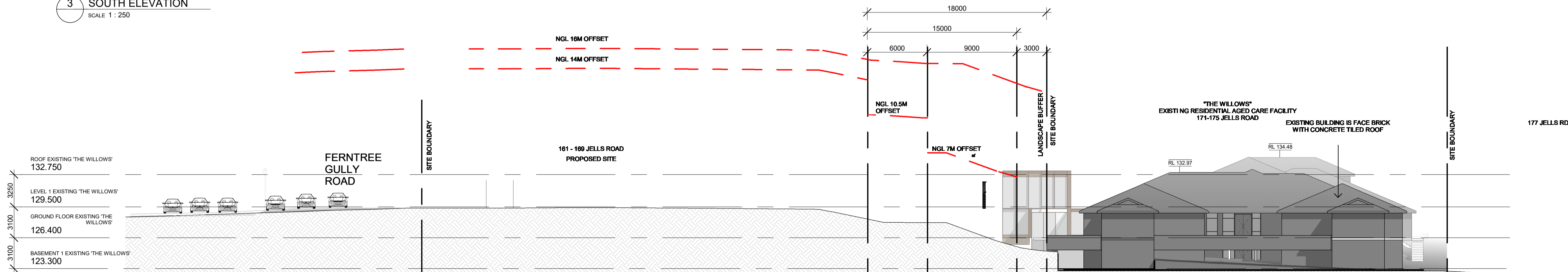
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2 NORTH ELEVATION  
SCALE 1 : 250



3 SOUTH ELEVATION  
SCALE 1 : 250



4 WEST ELEVATION  
SCALE 1 : 250



CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

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161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL  
Client  
**LIFEVUE RESIDENTIAL CARE**

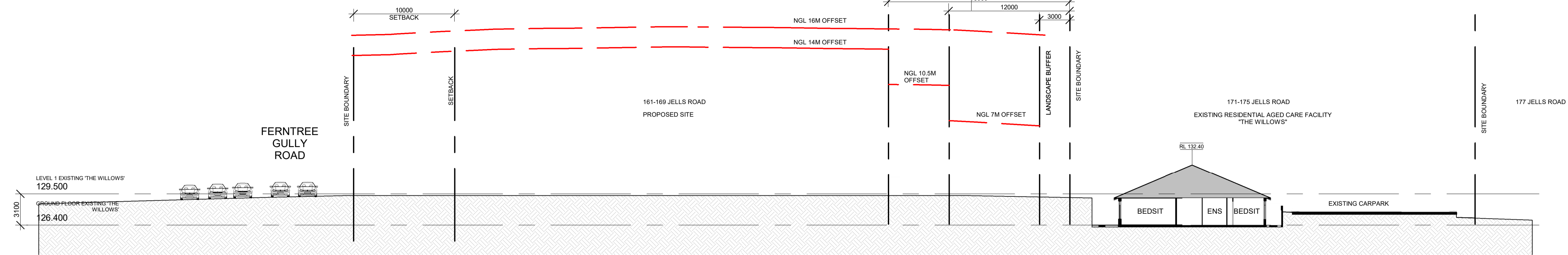
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B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN

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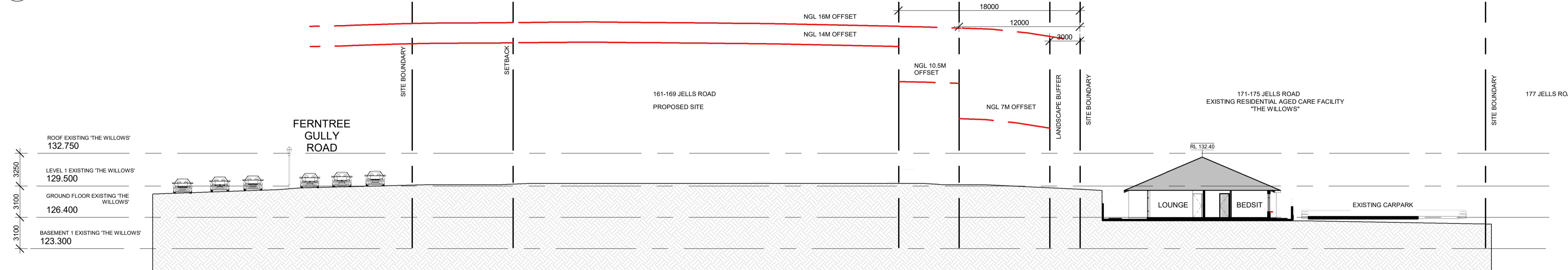
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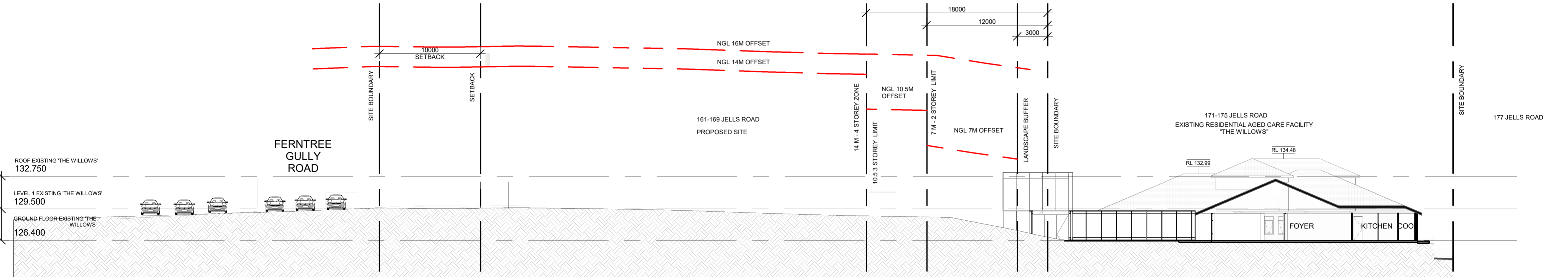
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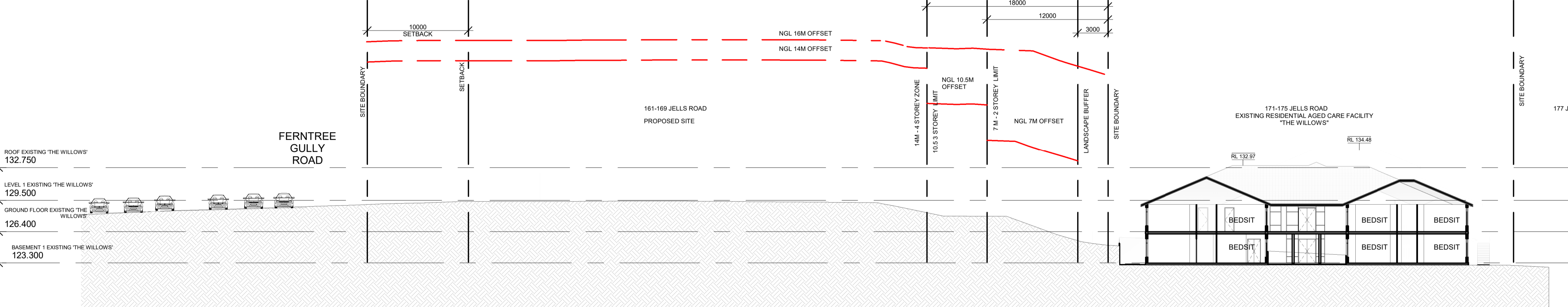
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2 Existing - Section 2  
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3 Existing - Section 3  
SCALE 1 : 250



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SCALE 1 : 250



CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

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Project  
**THE WILLOWS WHEELERS HILL**  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL  
Client  
**LIFEVUE RESIDENTIAL CARE**

Amendments	
No.	Date
A	16/09/2017
B	19/07/2018
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D	21/08/2019

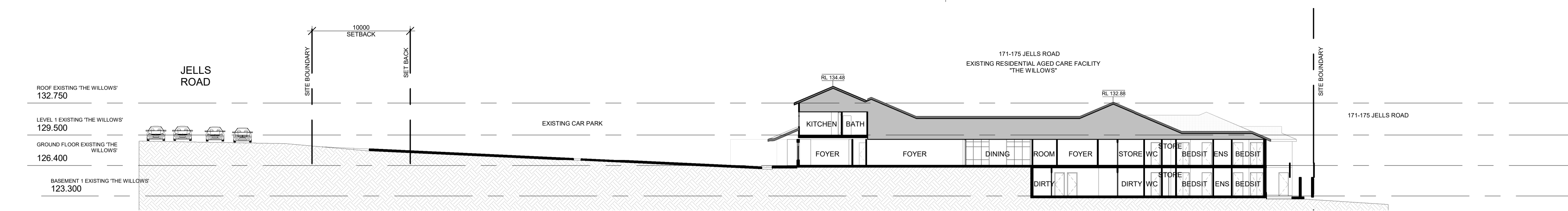
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21/08/2019

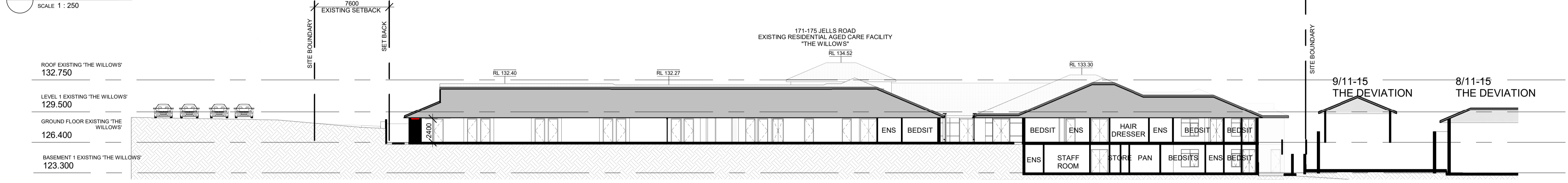
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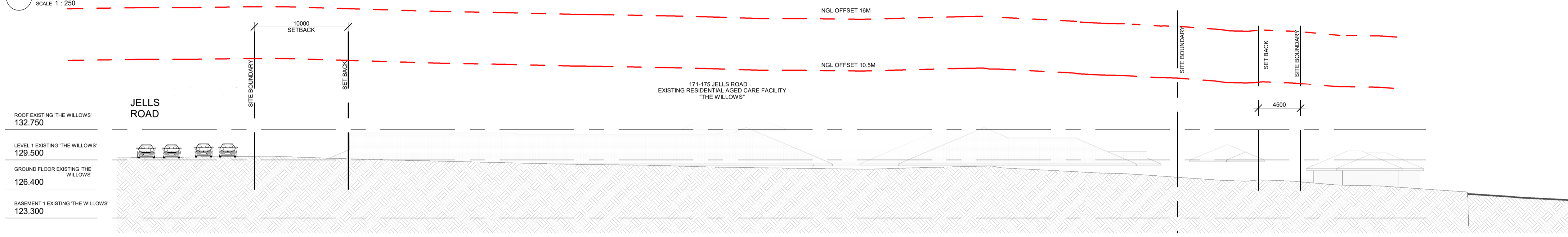
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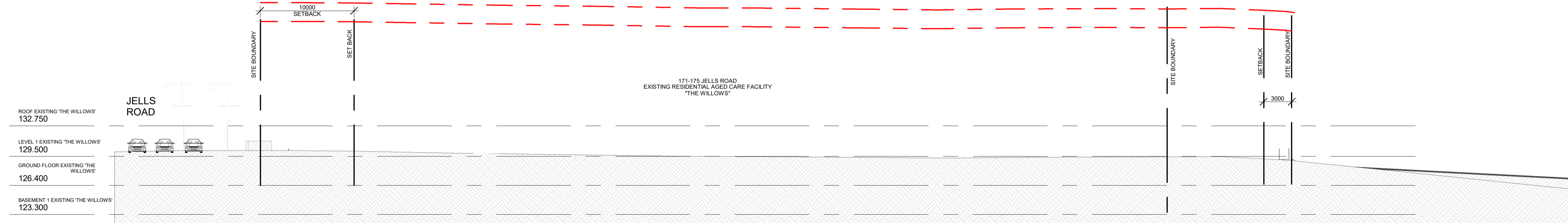
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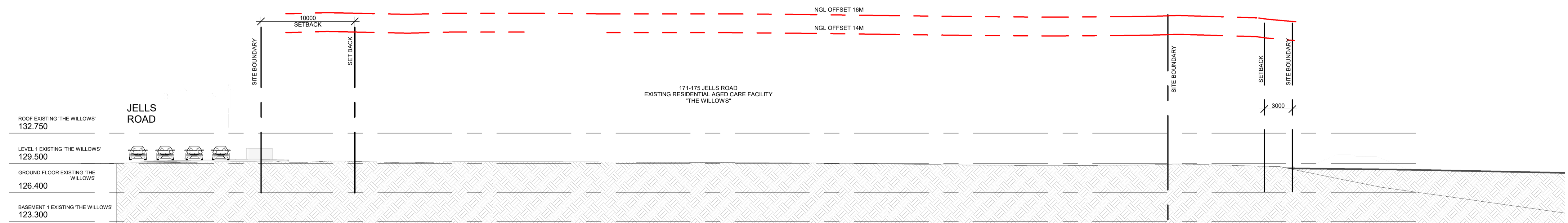
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3 Existing - Section 7  
SCALE 1 : 250



4 Existing - Section 8  
SCALE 1 : 250



5 Existing - Section 9  
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CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
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info@chtarchitects.com.au  
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**THE WILLOWS WHEELERS HILL**  
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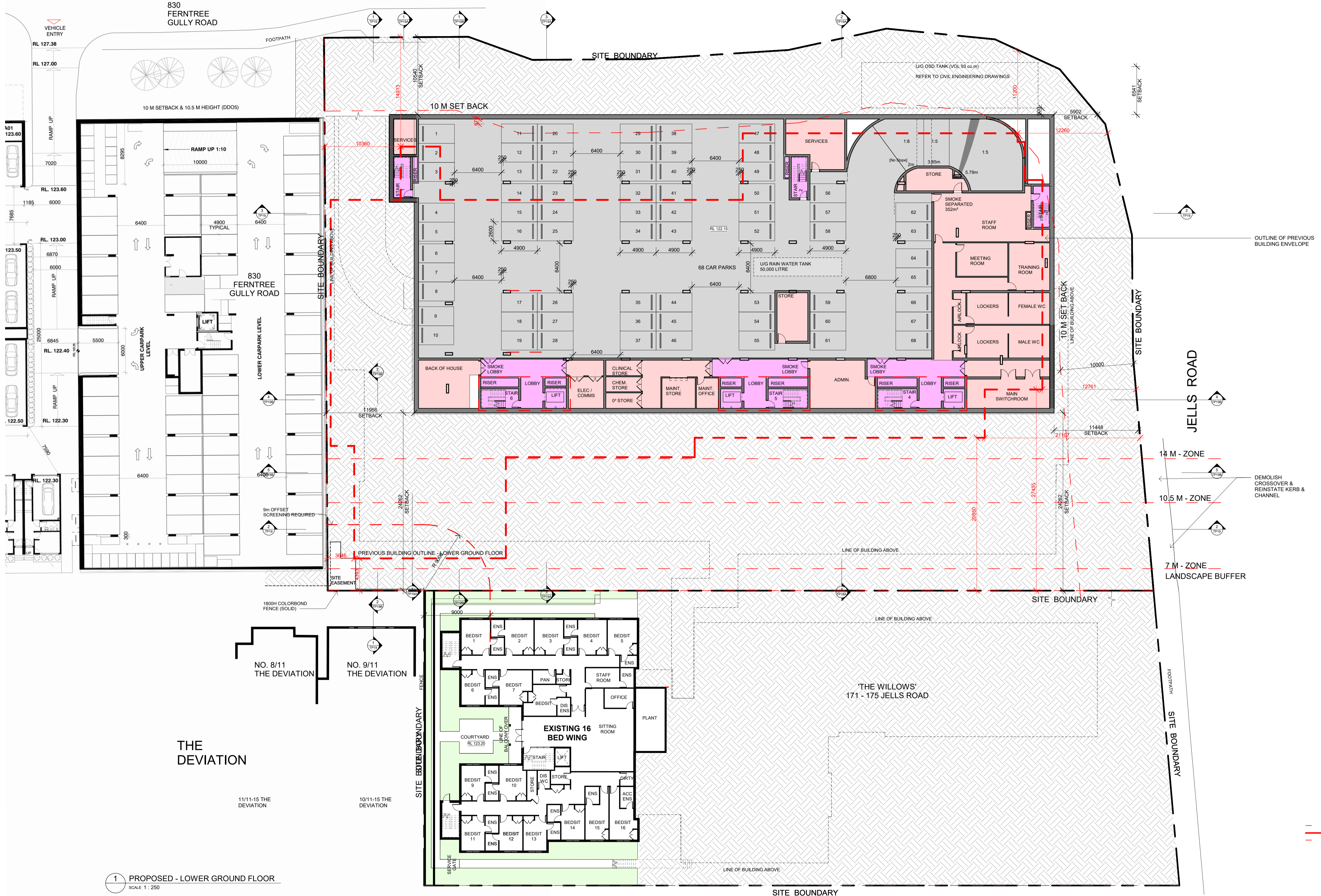
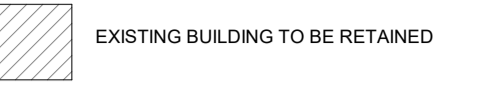
Amendments		
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Title  
**EXISTING - SECTIONS**  
Sheet  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

Sheet No.  
**TP09**  
Scale  
1 : 250@A1  
Date  
21/08/2019

Revision  
**D**  
**16052**  
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16052-2020/03/25 15:05:49



1 PROPOSED - LOWER GROUND FLOOR  
SCALE 1 : 250

--- SETBACKS  
--- ENDORSED BUILDING ZONES



CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847

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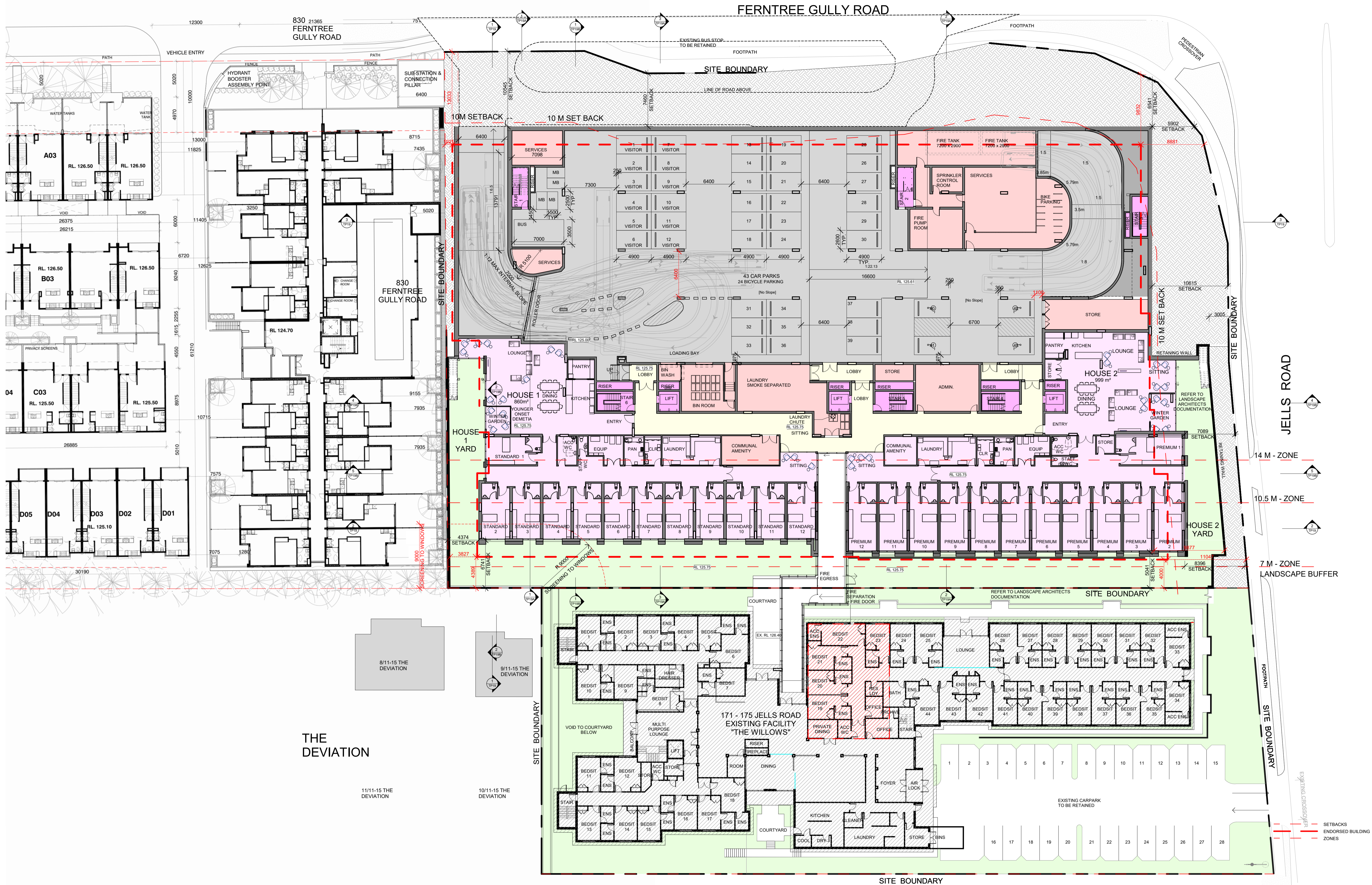
Project THE WILLOWS WHEELERS HILL  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL  
Client LIFEVIEW RESIDENTIAL CARE

No.	Date	Notes
A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/09/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

Title PROPOSED - LOWER GROUND FLOOR  
Sheet PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet No. TP10  
Scale As indicated@A1  
Date 24/03/2020

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16052  
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1 GROUND FLOOR  
SCALE 1 : 250



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44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
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Project  
**THE WILLOWS WHEELERS HILL**  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL

Client  
**LIFEVUE RESIDENTIAL CARE**

No.	Date	Notes
A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TP14/17/296
B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/09/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

Title  
**PROPOSED - GROUND FLOOR**

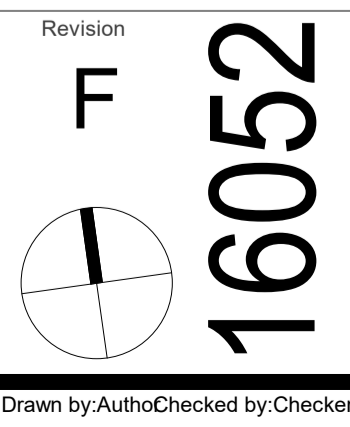
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Sheet No.  
**TP11**

Revision  
**F**

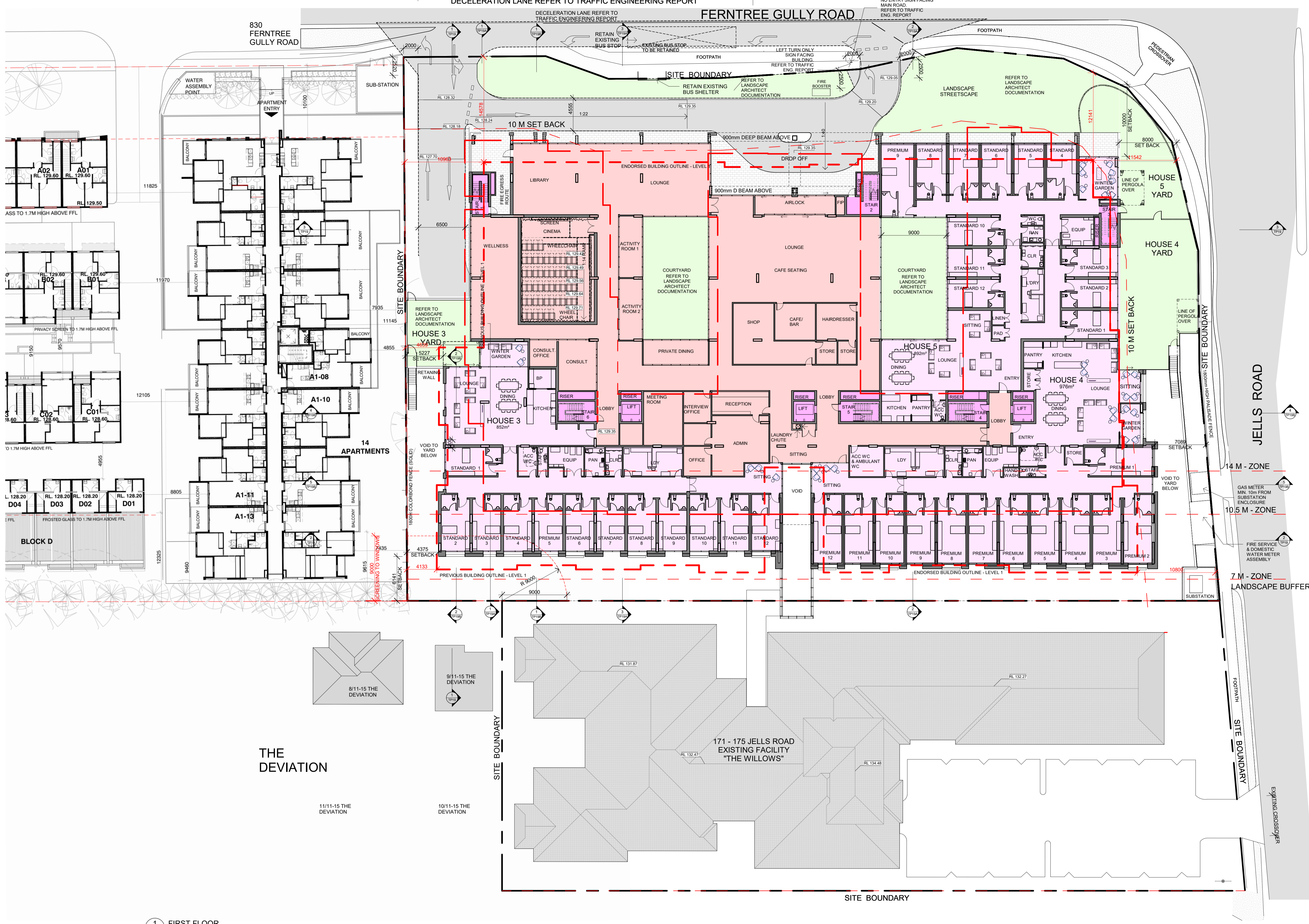
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As indicated@A1

Date  
24/03/2020



16052-2020/03/25 15:06:19

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1 FIRST FLOOR  
SCALE 1 : 250

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 CHT Architects Pty Ltd  
 ABN 29 108 008 519  
 Architecture  
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 Urban Design

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**THE WILLOWS WHEELERS HILL**  
 161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL

Client  
**LIFEVUE RESIDENTIAL CARE**

No.	Date	Notes
A1	16/03/2019	FOR DISCUSSION ONLY
B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/09/2019	REVISED DESIGN
E	22/08/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

Title  
**PROPOSED - FIRST FLOOR**

Sheet  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

Sheet No.  
**TP12**

Scale  
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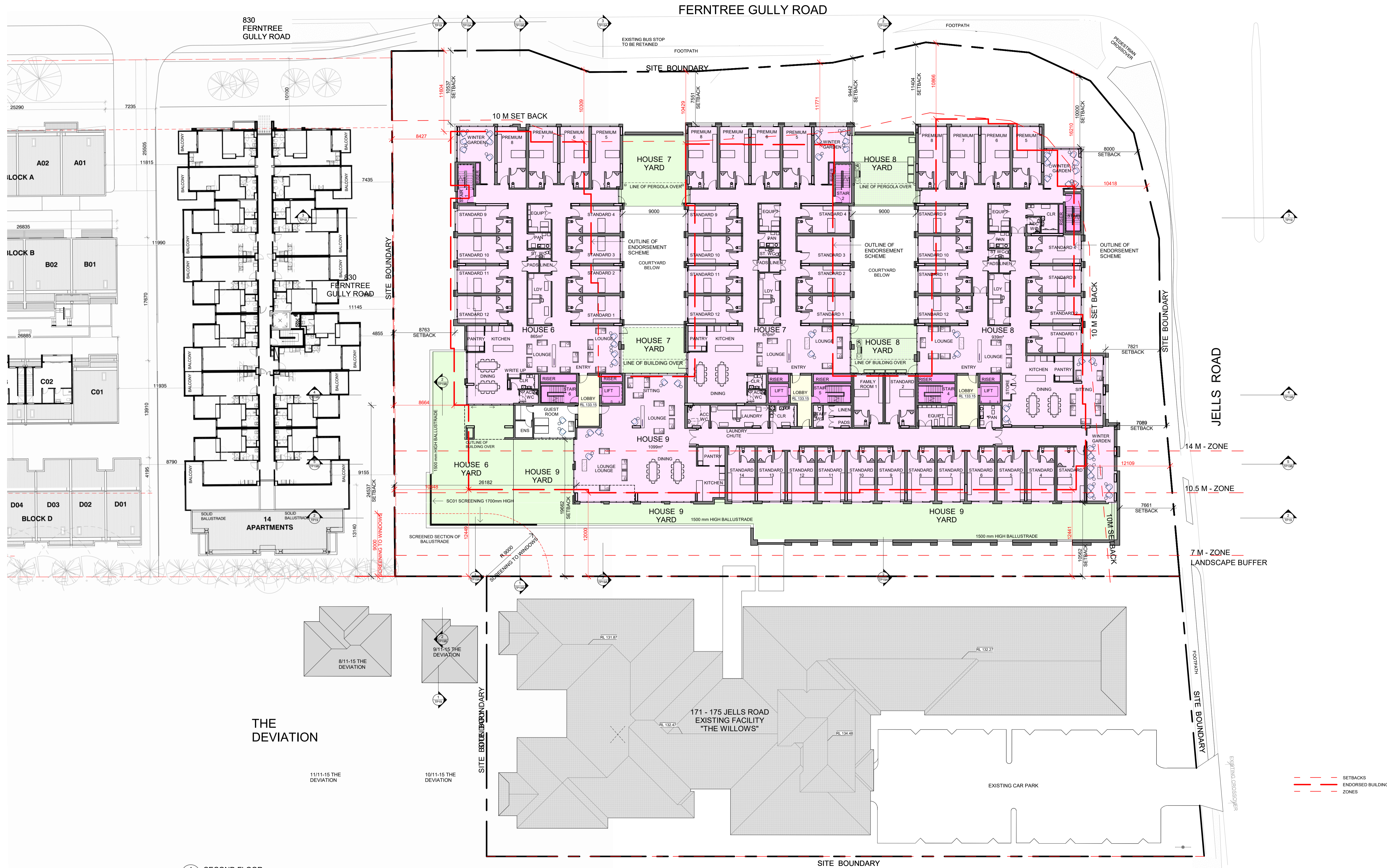
Date  
 24/03/2020

Revision  
**F**

**16052**

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1 SECOND FLOOR  
SCALE 1 : 250



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44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
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**THE WILLOWS WHEELERS HILL**  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL  
Client  
**LIFEVUE RESIDENTIAL CARE**

No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	19/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/09/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

Title  
**PROPOSED - SECOND FLOOR**  
Sheet  
**PRELIMINARY  
NOT FOR CONSTRUCTION**

Sheet No.  
**TP13**  
Scale  
As indicated@A1  
Date  
24/03/2020

Revision  
**F**  
**16052**  
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16052 - 2020/03/25 15:06:58



1 THIRD FLOOR  
SCALE 1 : 250

THE DEVIATION

8/11-15 THE DEVIATION

9/11-15 THE DEVIATION

11/11-15 THE DEVIATION

10/11-15 THE DEVIATION

Project  
**THE WILLOWS WHEELERS HILL**  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL

Client  
**LIFEVUE RESIDENTIAL CARE**

No.	Date	Notes
A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/09/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

Title  
**PROPOSED - THIRD FLOOR**

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**PRELIMINARY  
NOT FOR CONSTRUCTION**

Sheet No.  
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Scale  
As indicated@A1

Date  
24/03/2020

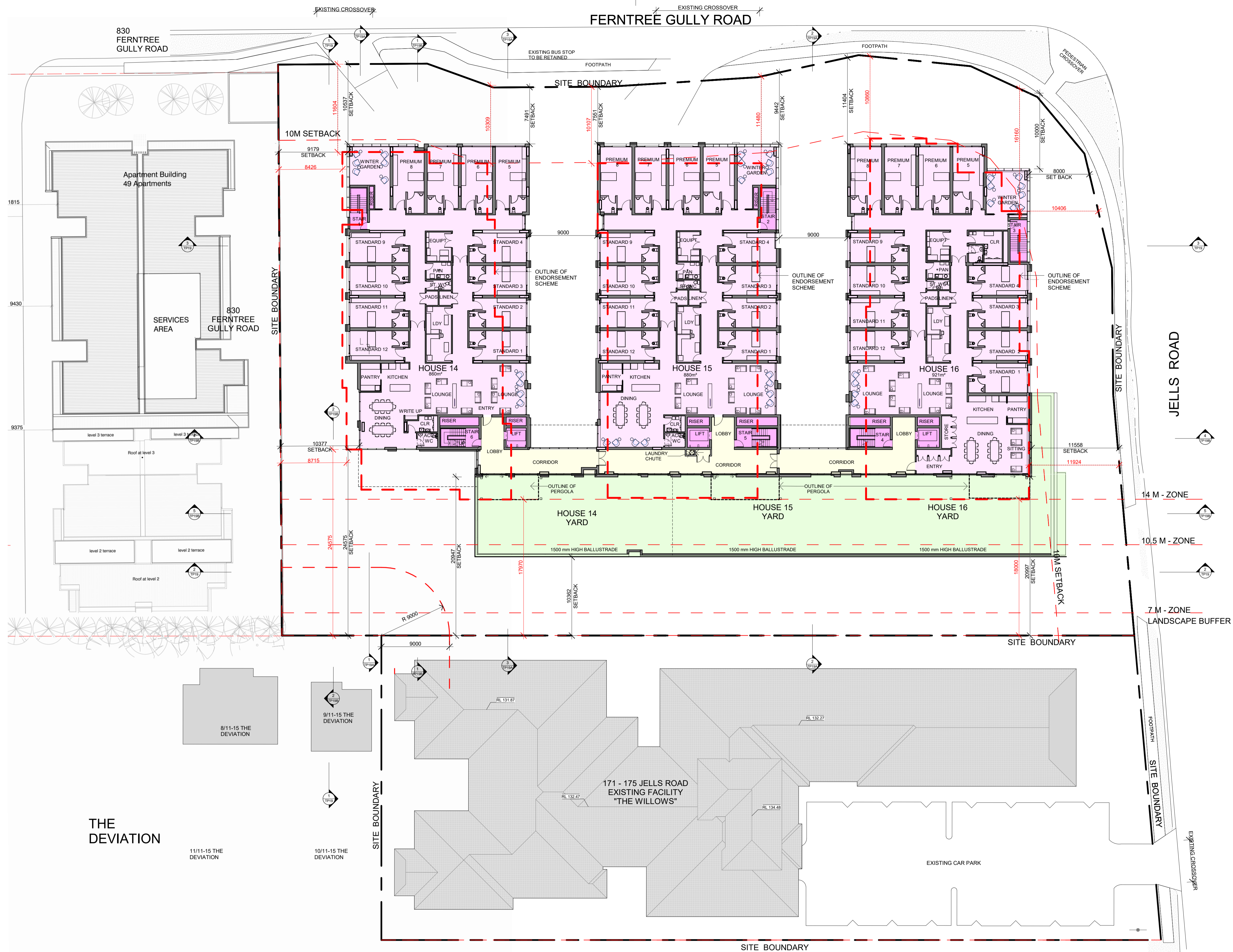
Revision  
**F**

16052

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1 FOURTH FLOOR  
SCALE: 1:250



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44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

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THE WILLOWS WHEELERS HILL  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL

Client

LIFEVUE RESIDENTIAL CARE

Amendments

No.	Date	Notes
A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
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Title

PROPOSED - FOURTH FLOOR

Sheet

PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet No.

TP15

Scale

As indicated@A1

Date

24/03/2020

Revision

F

Scale

As indicated@A1

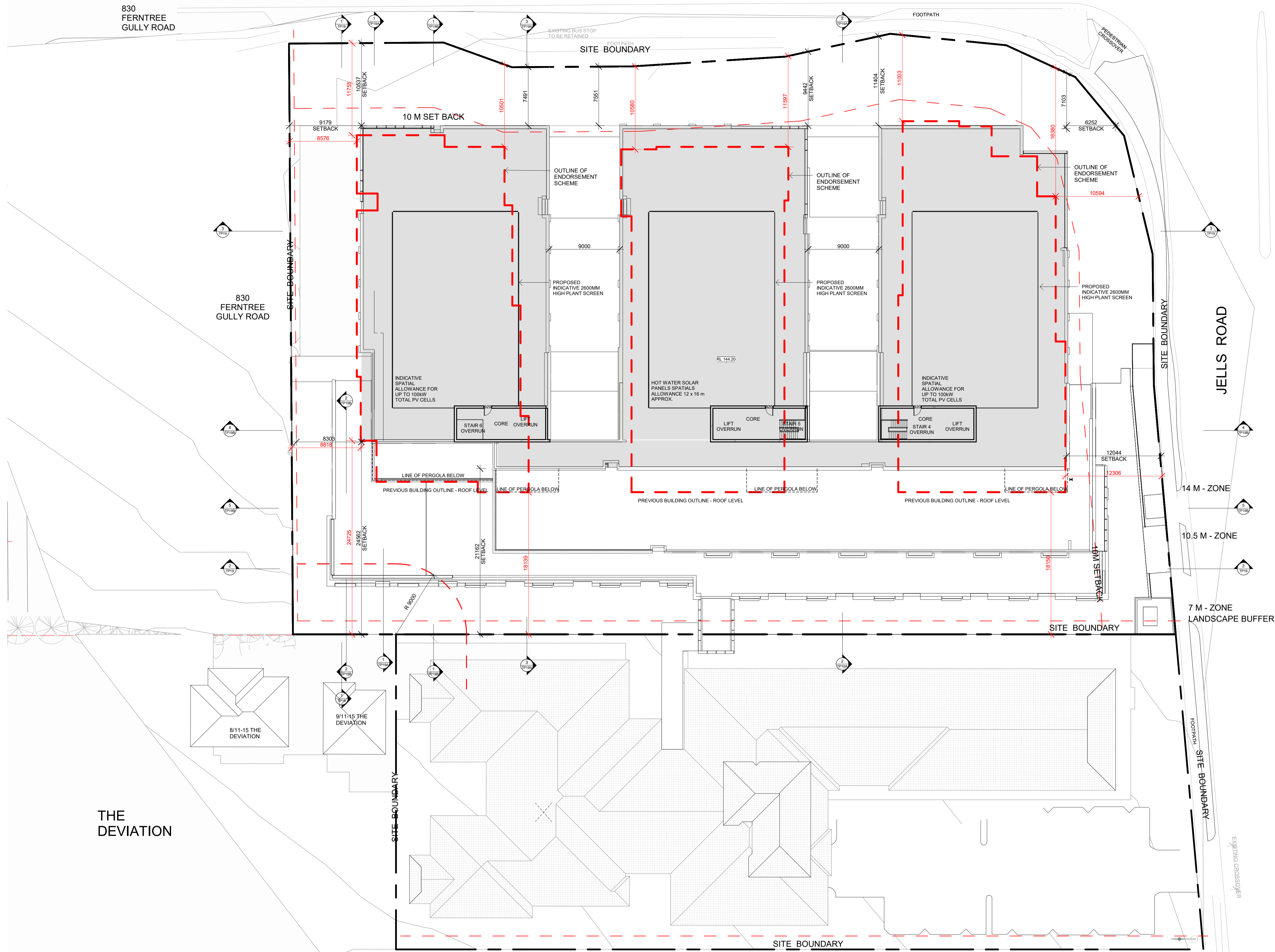
Date

24/03/2020

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16052



--- SETBACKS  
 --- ENDORSED BUILDING  
 --- ZONES

1 ROOF  
 SCALE 1 : 250



CHT Architects Pty Ltd  
 44 Oxford Street  
 Collingwood VIC 3066  
 Post Office Box 1352  
 Collingwood VIC 3066

Telephone 03 9417 1944  
 Facsimile 03 9415 1847

CHT Architects Pty Ltd  
 ABN 29 108 008 519  
 Architecture  
 Interior Design  
 Urban Design  
 info@chtarchitects.com.au  
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LIFEVUE RESIDENTIAL CARE

Amendments

No.	Date	Notes
A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/09/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

Title

PROPOSED - ROOF LEVEL

Sheet

PRELIMINARY  
 NOT FOR CONSTRUCTION

Sheet No.

TP16

Revision

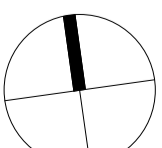
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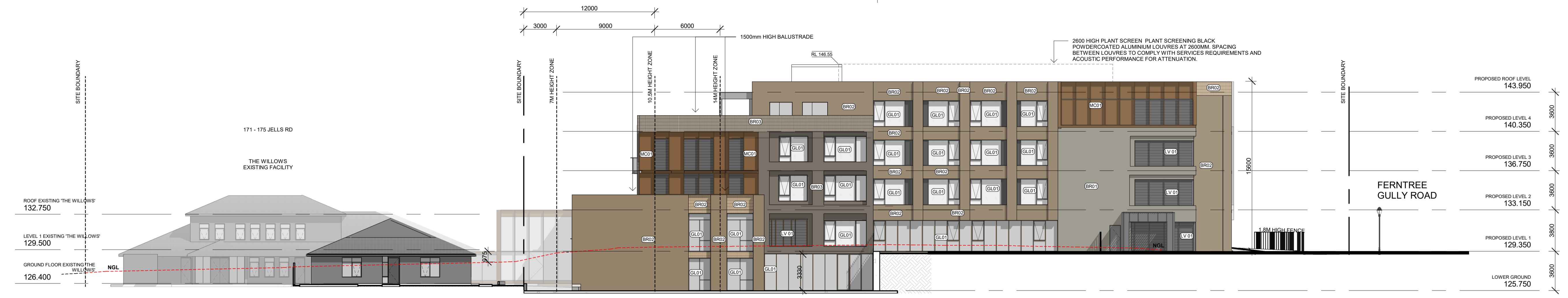
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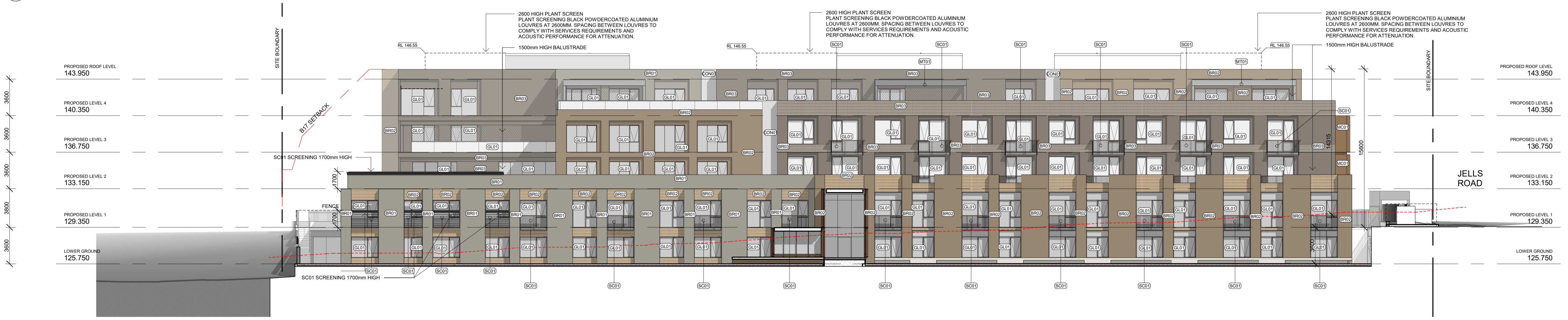


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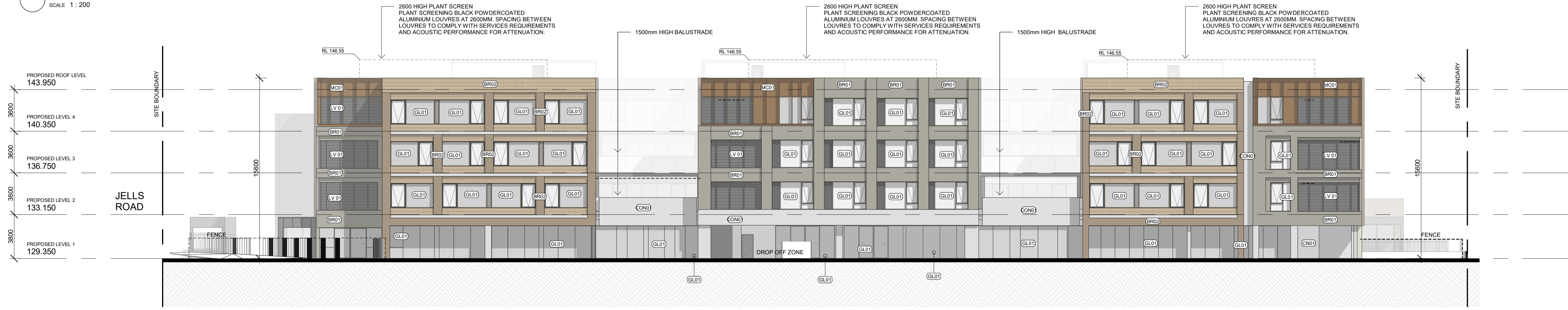
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MC01	METAL CLADDING - BRONZE
BR01	BRICK FINISH CREAM
BR02	BRICK FINISH BEIGE
BR03	BRICK FINISH BROWN
GL01	GLASS CLEAR
GL02	GLASS SPANDREL
CN01	CONCRETE FINISH
SC01	SCREENING - CHARCOAL METAL



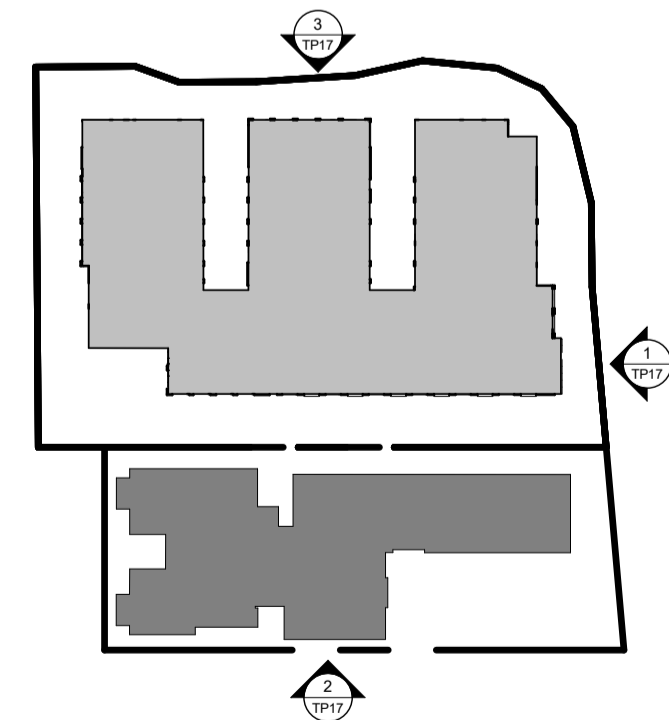
1 PROPOSED - EAST ELEVATION  
SCALE 1 : 200



2 PROPOSED - SOUTH ELEVATION  
SCALE 1 : 200



3 PROPOSED - NORTH ELEVATION  
SCALE 1 : 200



CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
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Project  
**THE WILLOWS WHEELERS HILL**  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL

Client  
**LIFEVUE RESIDENTIAL CARE**

No.	Date	Notes
A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/09/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

Title  
**PROPOSED - ELEVATIONS**

Sheet  
**PRELIMINARY  
NOT FOR CONSTRUCTION**

Sheet No.  
**TP17**

Revision  
**F**

Scale  
As indicated@A1

Date  
24/03/2020

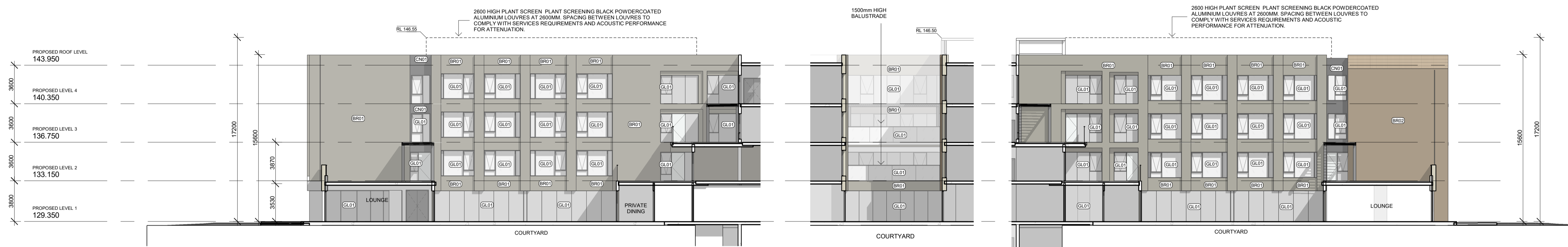
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MATERIALS LEGEND	
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MC01	METAL CLADDING - BRONZE
BR01	BRICK FINISH CREAM
BR02	BRICK FINISH BEIGE
BR03	BRICK FINISH BROWN
GL01	GLASS CLEAR
GL02	GLASS SPANDREL
CN01	CONCRETE FINISH
SC01	SCREENING - CHARCOAL METAL



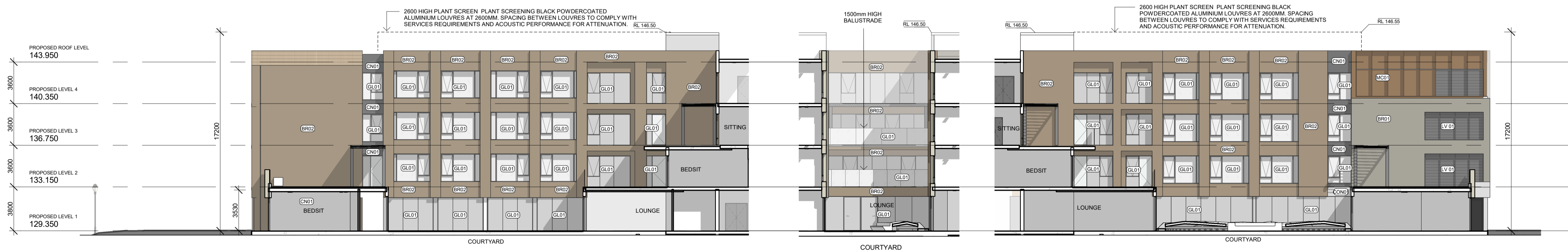
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2 COURTYARD 3  
SCALE 1 : 200

3 COURTYARD 2  
SCALE 1 : 200

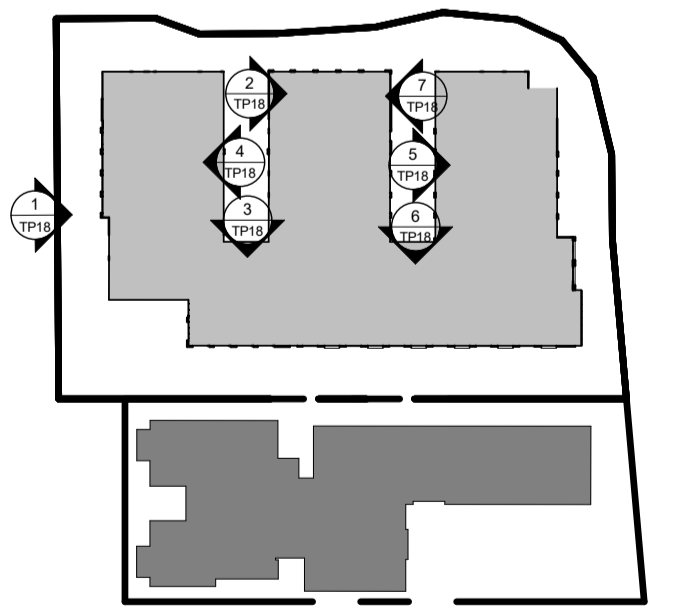
4 COURTYARD 1  
SCALE 1 : 200



5 COURTYARD 6  
SCALE 1 : 200

6 COURTYARD 5  
SCALE 1 : 200

7 COURTYARD 4  
SCALE 1 : 200



00 KEY PLAN SD18  
SCALE 1 : 1500



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44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
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Project

THE WILLOWS WHEELERS HILL  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL

Client

LIFEVUE RESIDENTIAL CARE

Amendments

No.	Date	Notes
A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	19/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/09/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

Title

PROPOSED - ELEVATIONS

Sheet

PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet No.

TP18

Scale  
As indicated@A1

Date  
24/03/2020

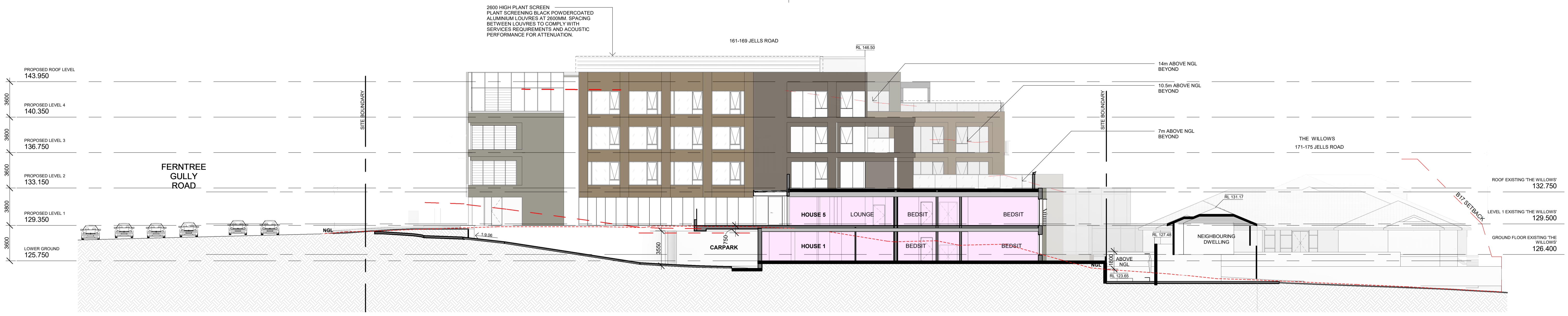
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F

Scale

Date

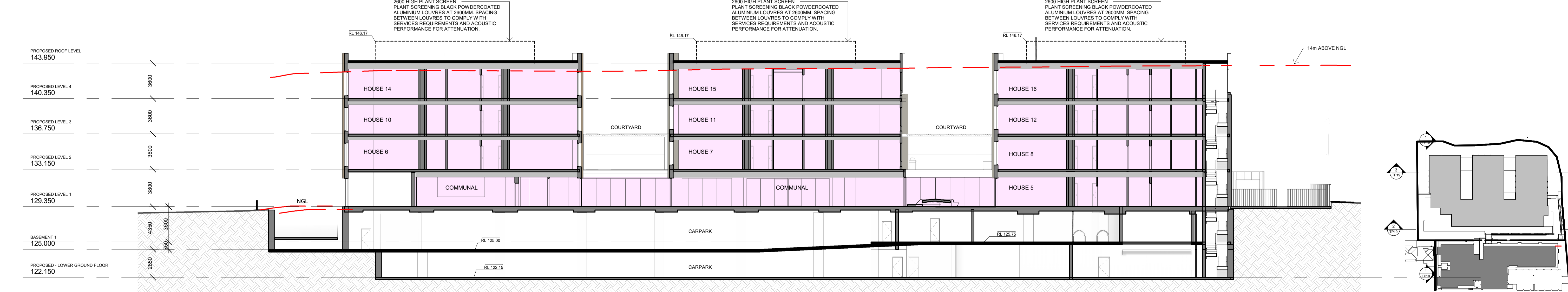
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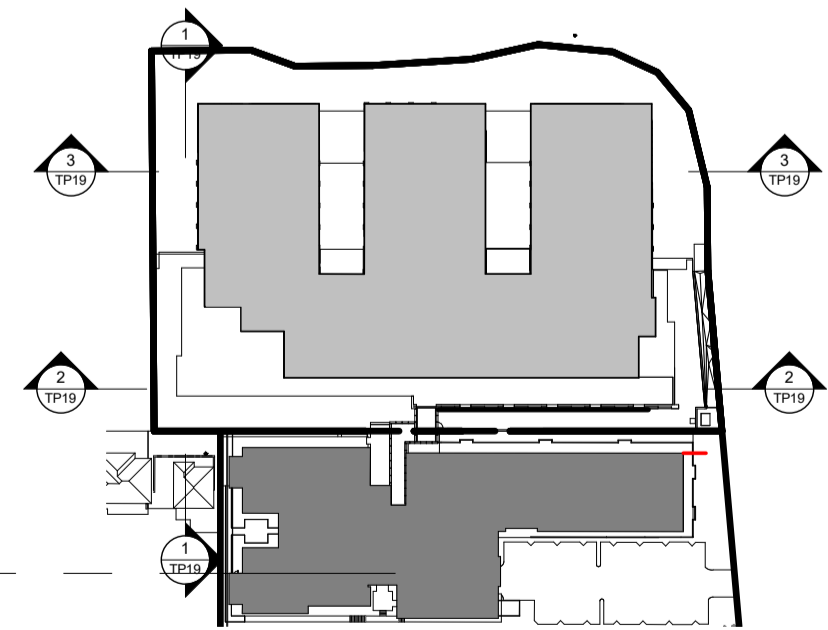
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2 Section 2.  
SCALE 1 : 200



3 Section 3.  
SCALE 1 : 200



00 KEY PLAN 1  
SCALE 1 : 1500



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44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
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Project  
**THE WILLOWS WHEELERS HILL**  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL  
Client  
**LIFEVIEW RESIDENTIAL CARE**

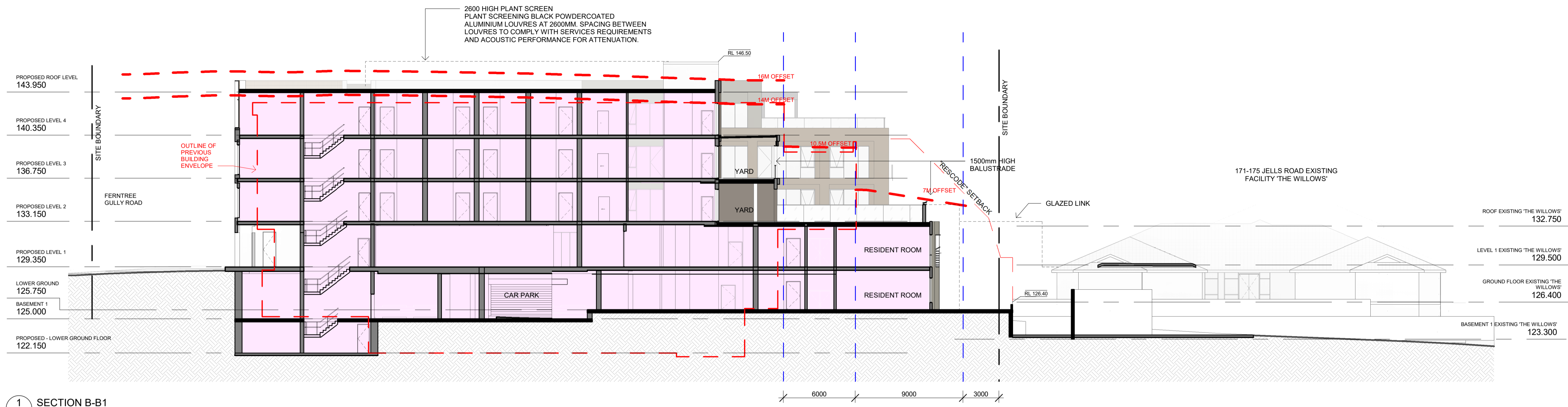
No.	Date	Notes
A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	19/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/09/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

Title  
**PROPOSED - SECTIONS**  
Sheet  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

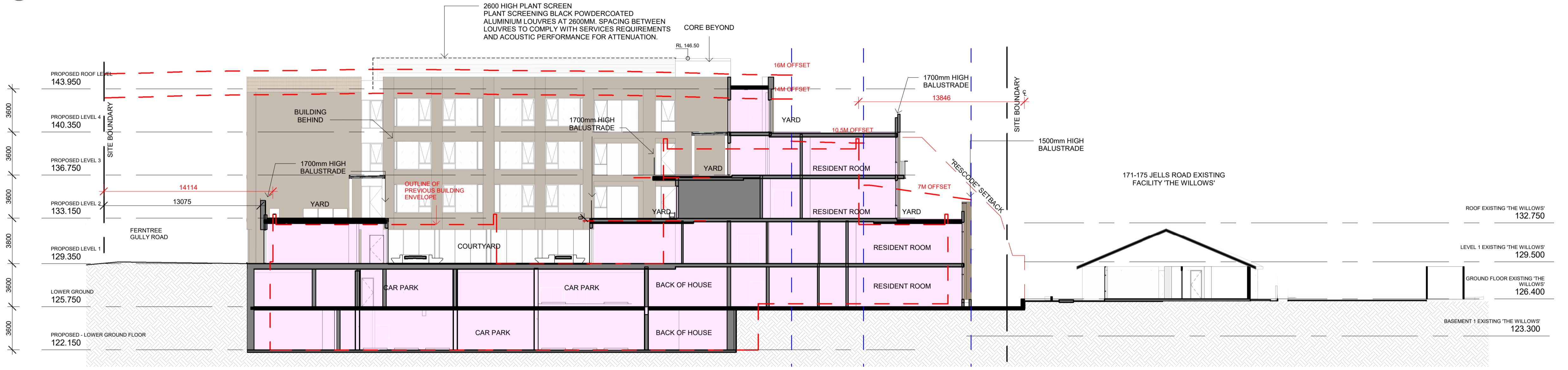
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Scale  
As indicated@A1  
Date  
**24/03/2020**

Revision  
**F**  
**16052**  
Drawn by:AutoChecked by:Checker

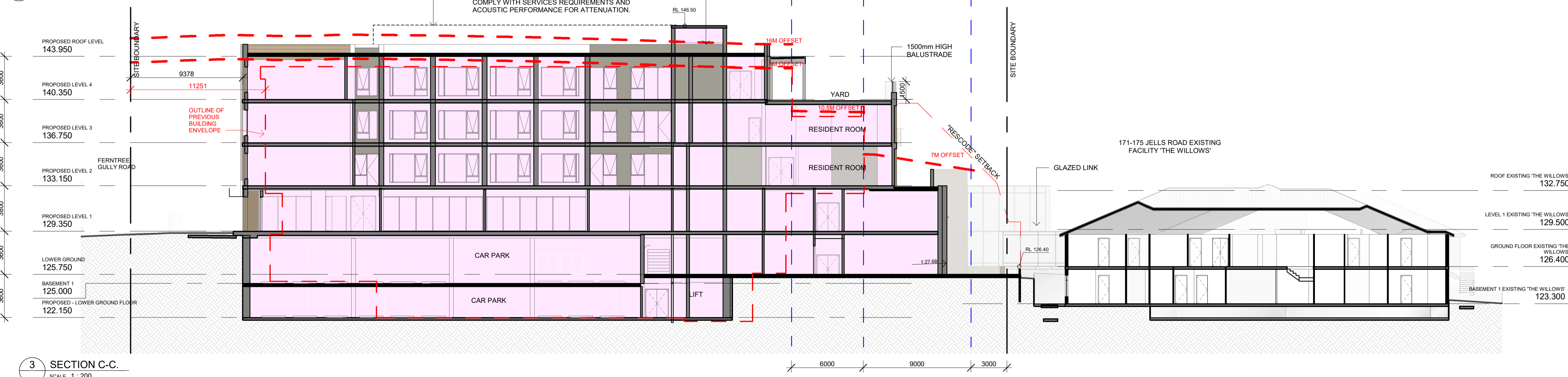
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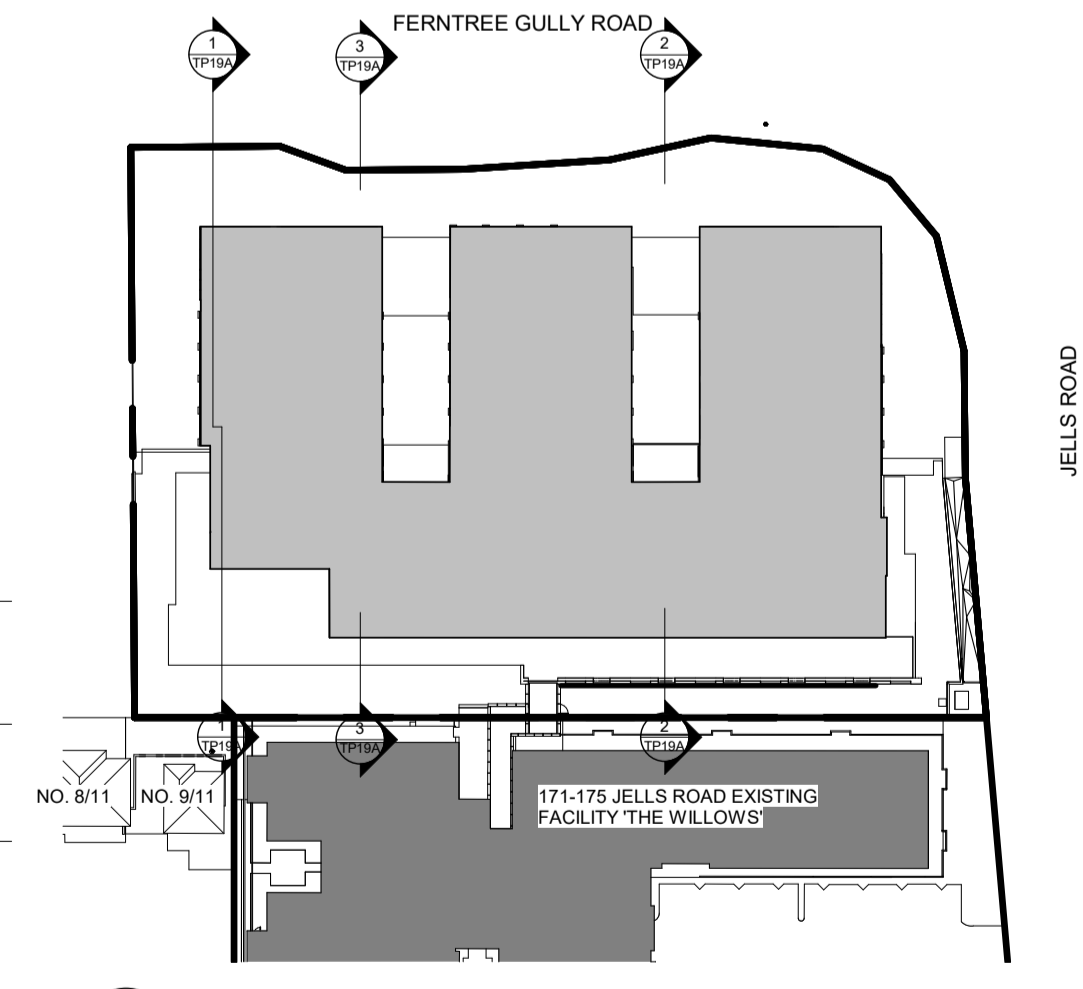
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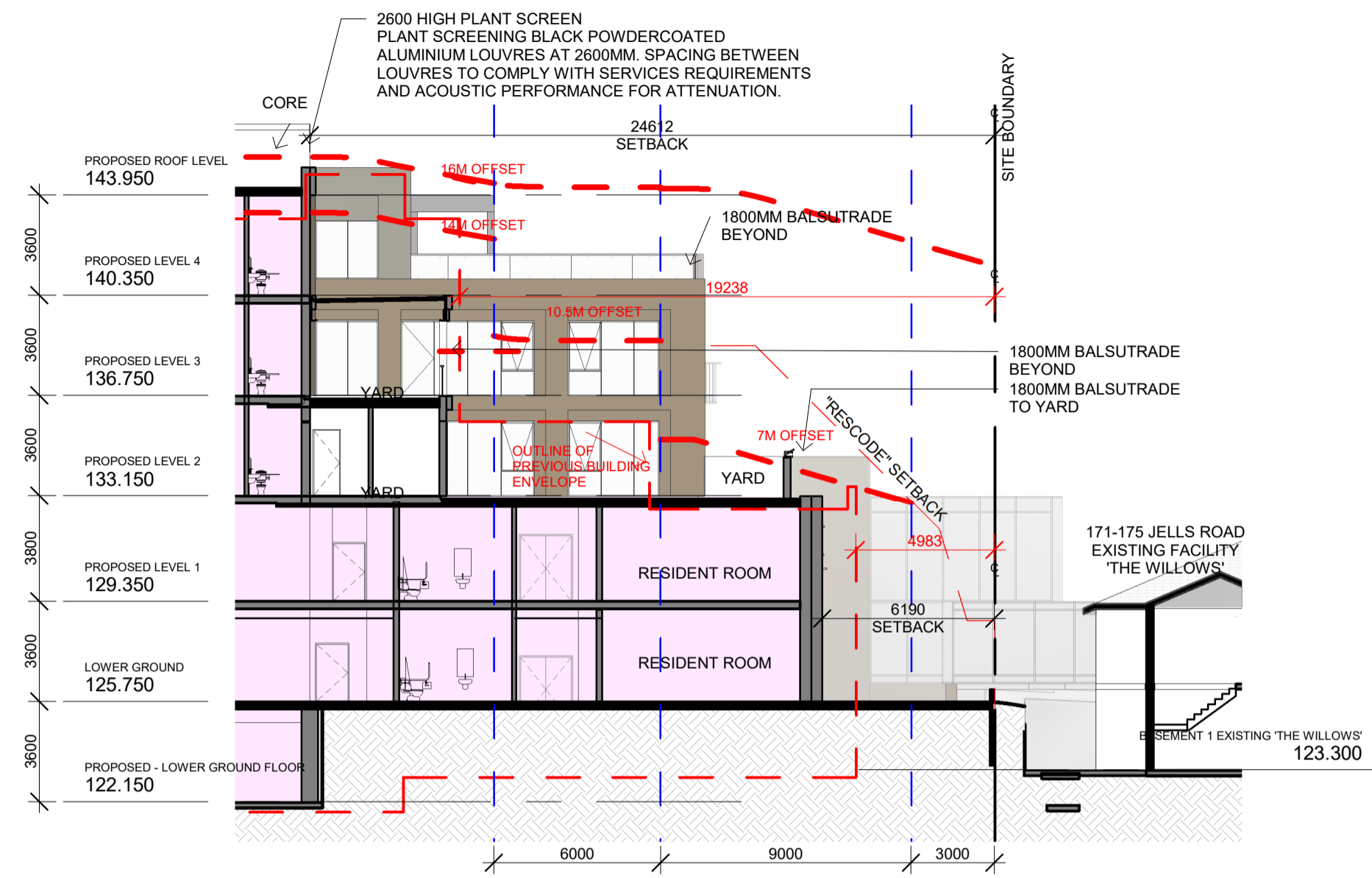


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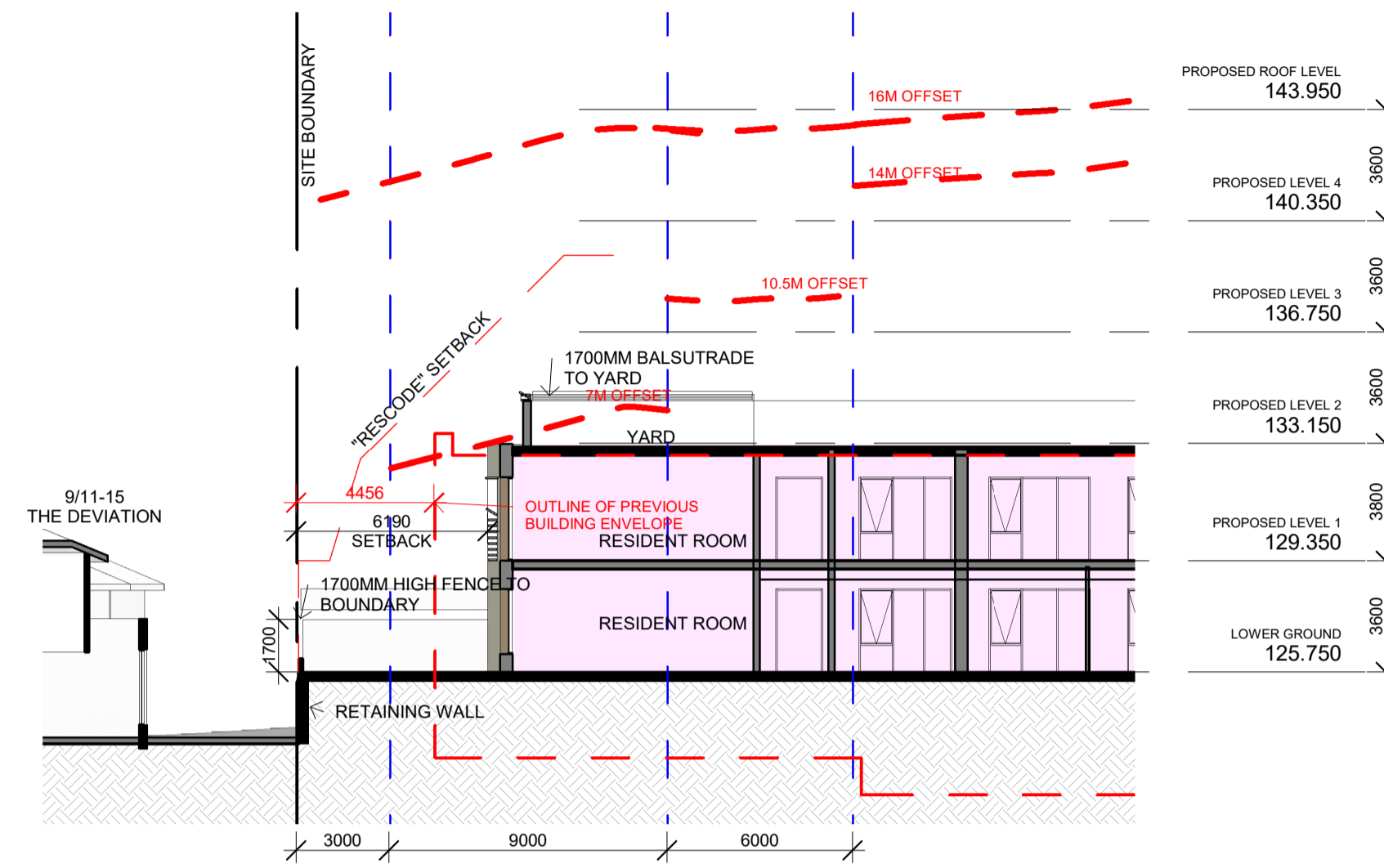


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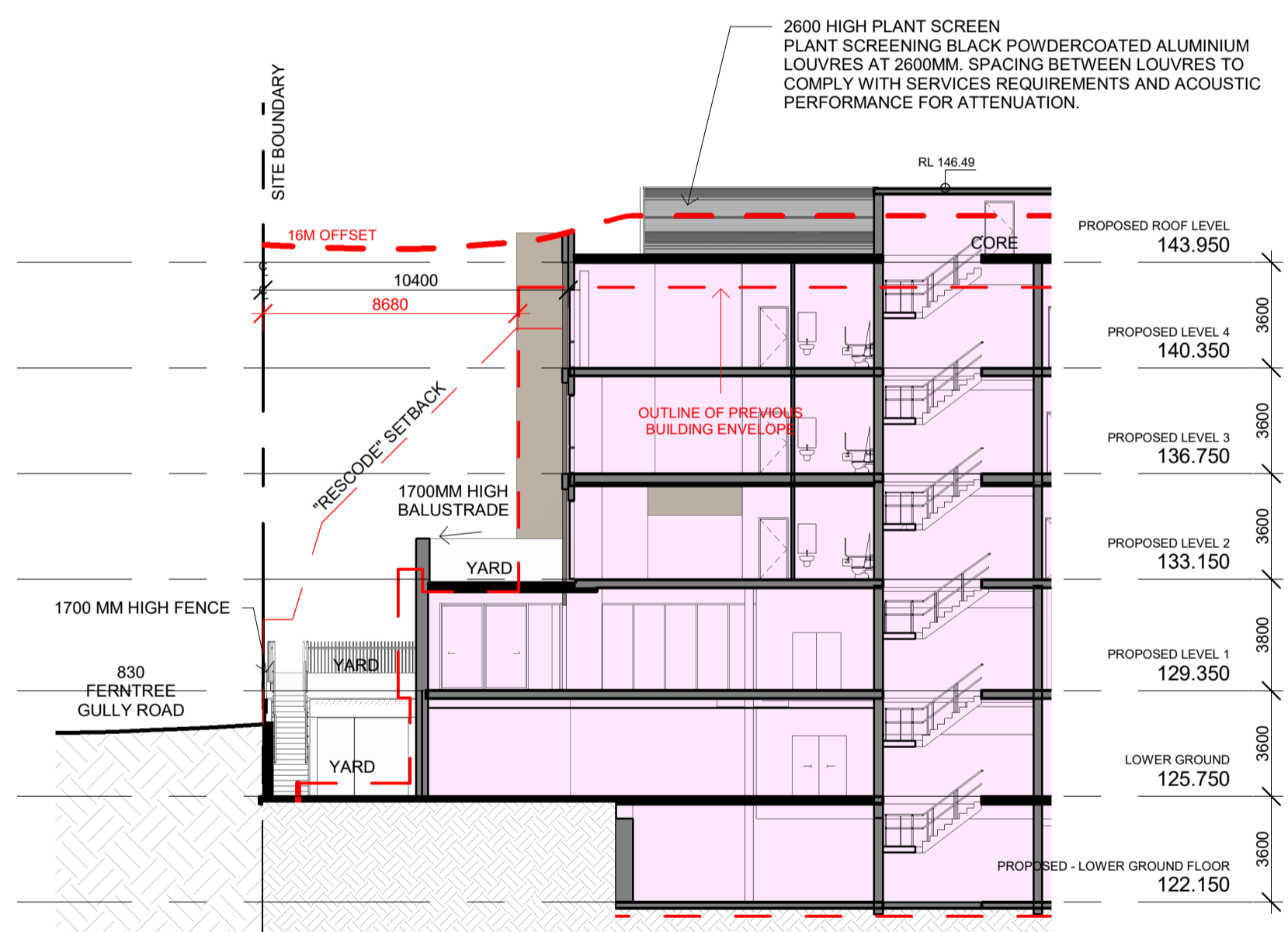




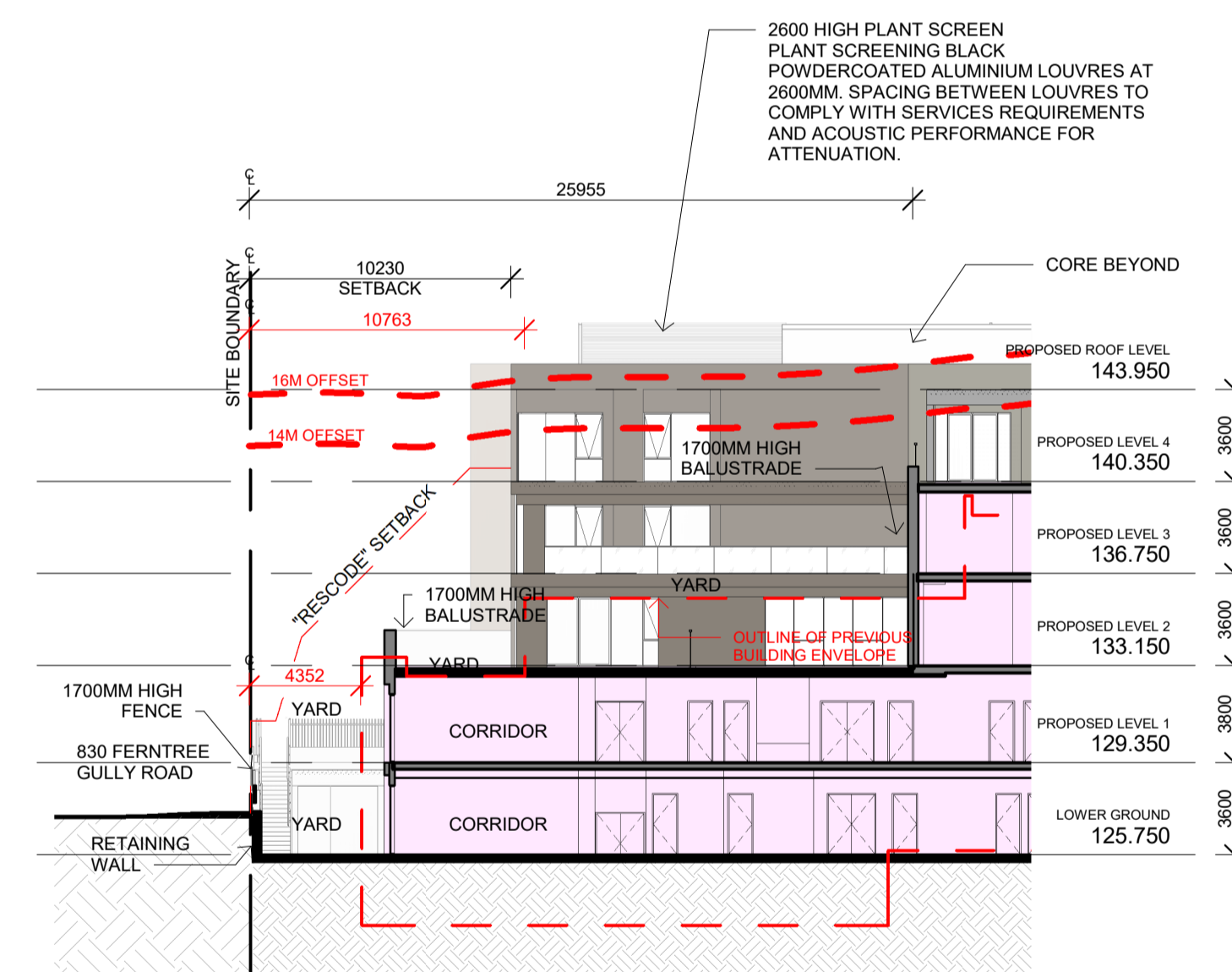
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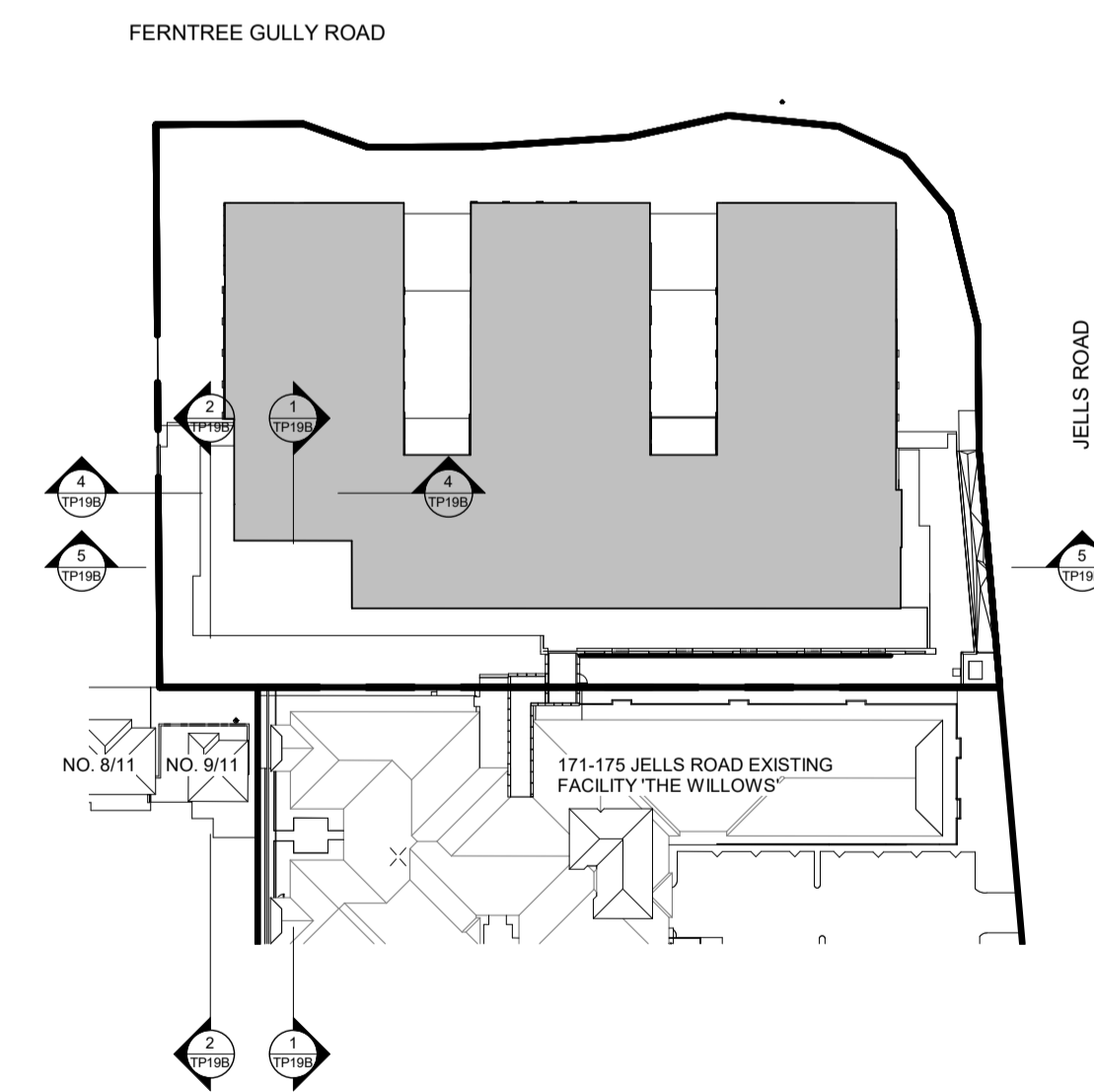
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SCALE 1 : 200



4 SECTION E-E  
SCALE 1 : 200



5 SECTION F-F  
SCALE 1 : 250



3 KEY PLAN  
SCALE 1 : 1000



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44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
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Facsimile 03 9415 1847  
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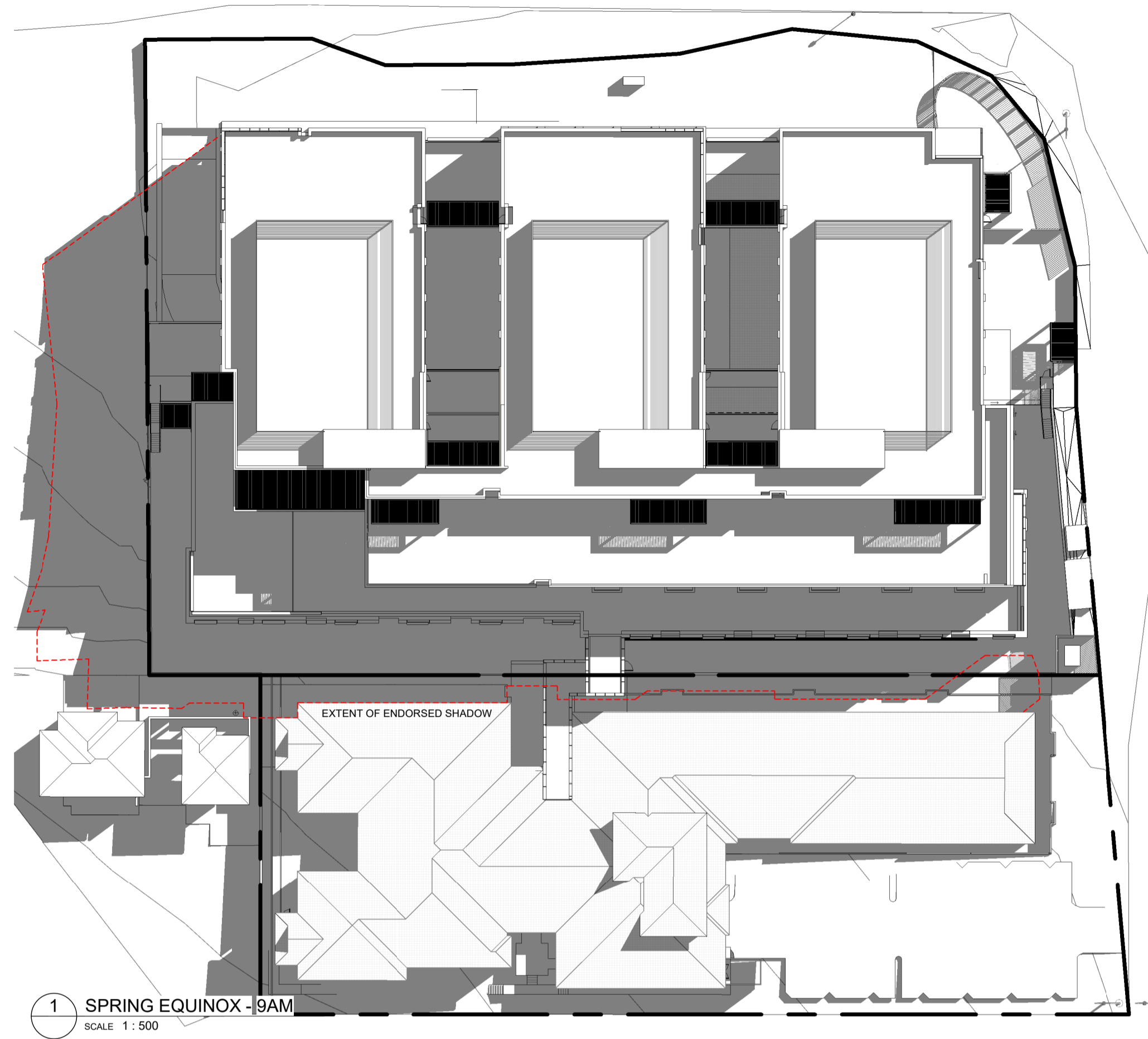
Project  
**THE WILLOWS WHEELERS HILL**  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL  
Client  
**LIFEVUE RESIDENTIAL CARE**

No.	Date	Notes
A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TP19A47296
B	19/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/09/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

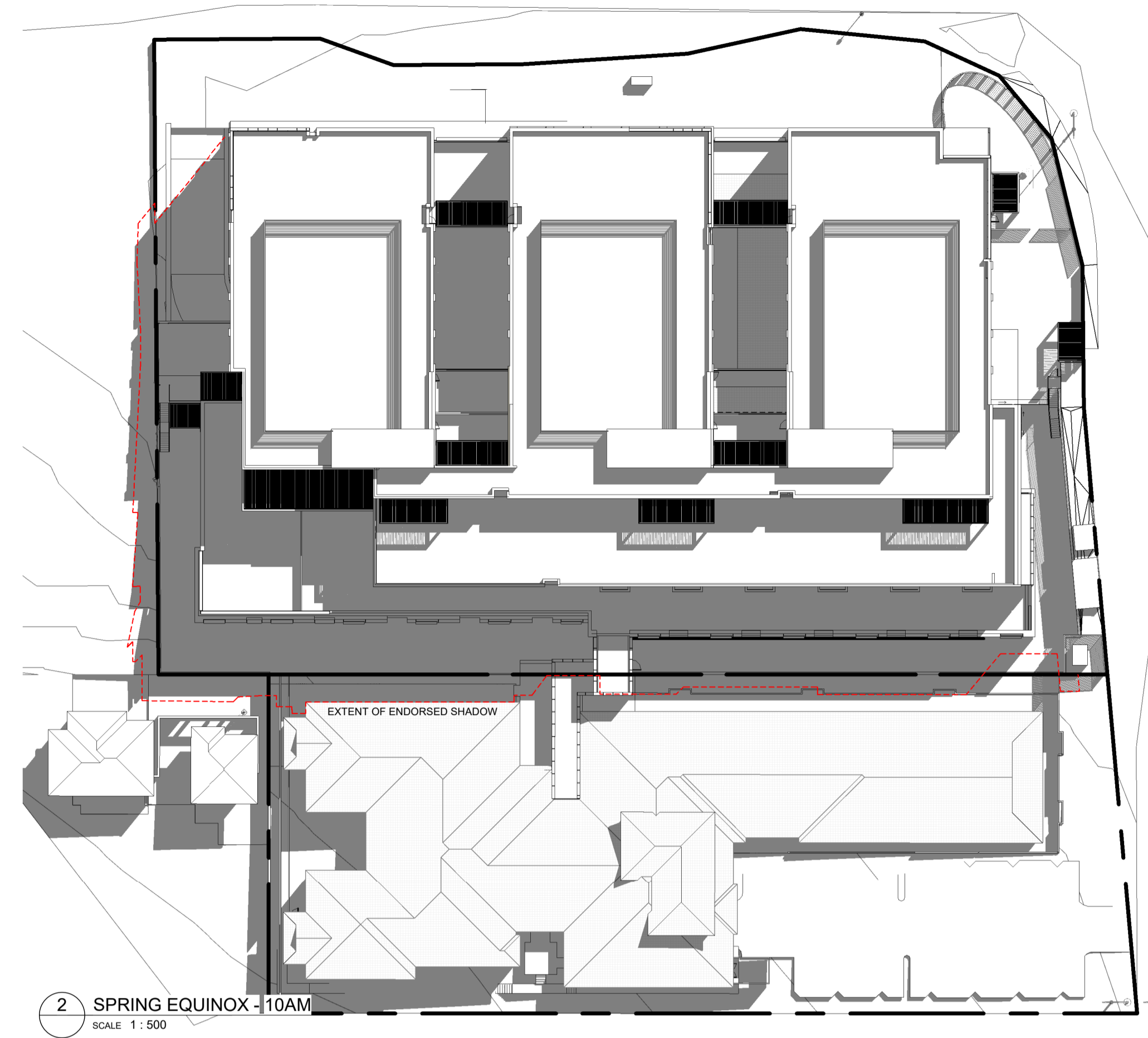
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Sheet  
**PRELIMINARY  
NOT FOR CONSTRUCTION**

Sheet No.  
**TP19B**  
Revision  
**F**  
Scale  
As indicated@A1  
Date  
**24/03/2020**

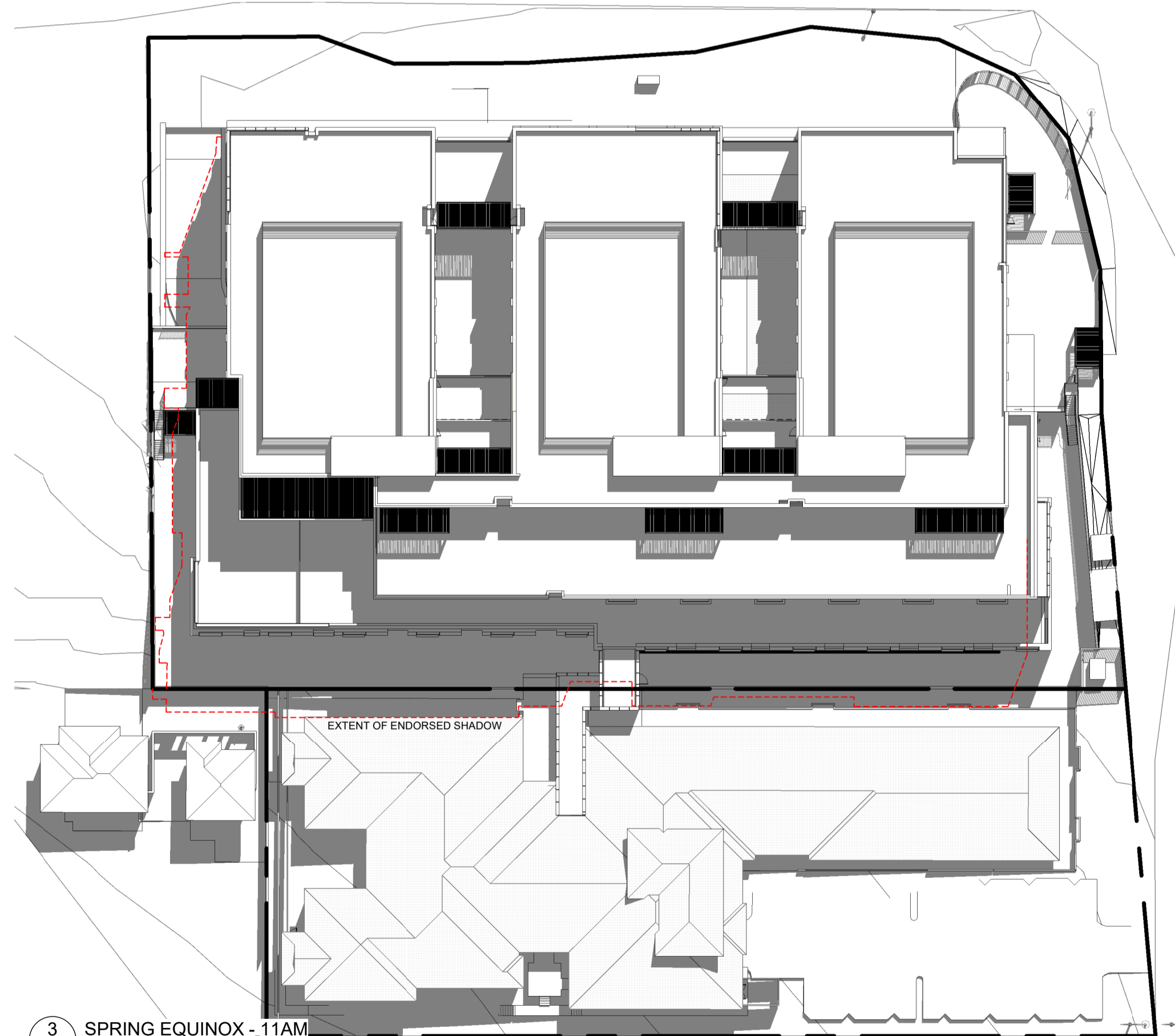
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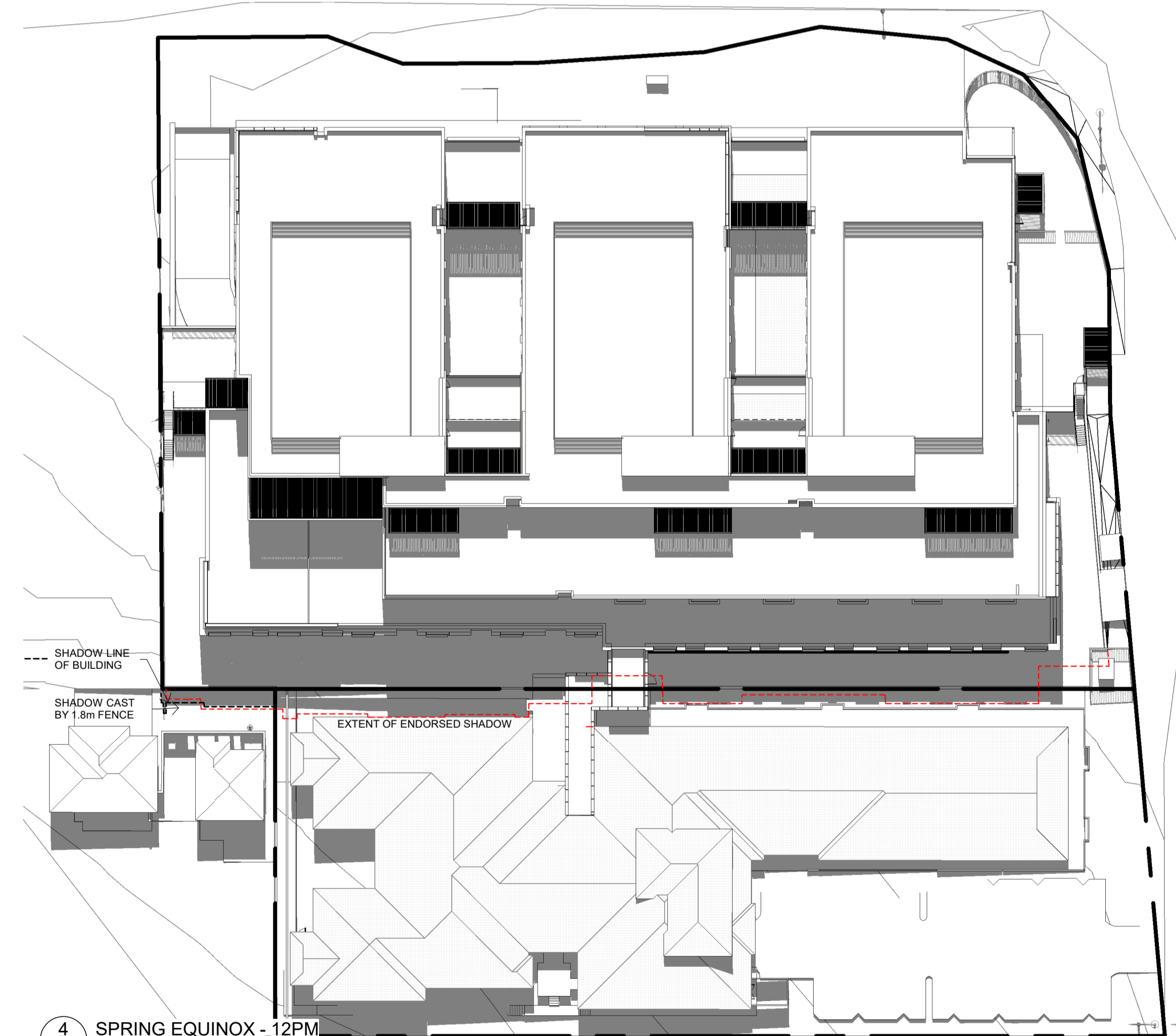
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2 SPRING EQUINOX - 10AM  
SCALE 1 : 500



3 SPRING EQUINOX - 11AM  
SCALE 1 : 500



4 SPRING EQUINOX - 12PM  
SCALE 1 : 500



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44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
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Project

THE WILLOWS WHEELERS HILL  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL

Client

LIFEVIEW RESIDENTIAL CARE

Amendments

No.	Date	Notes
A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/09/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

Title

SHADOW DIAGRAM

Sheet

PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet No.

TP20

Revision

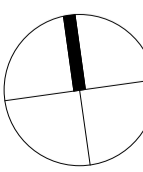
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Scale

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Date

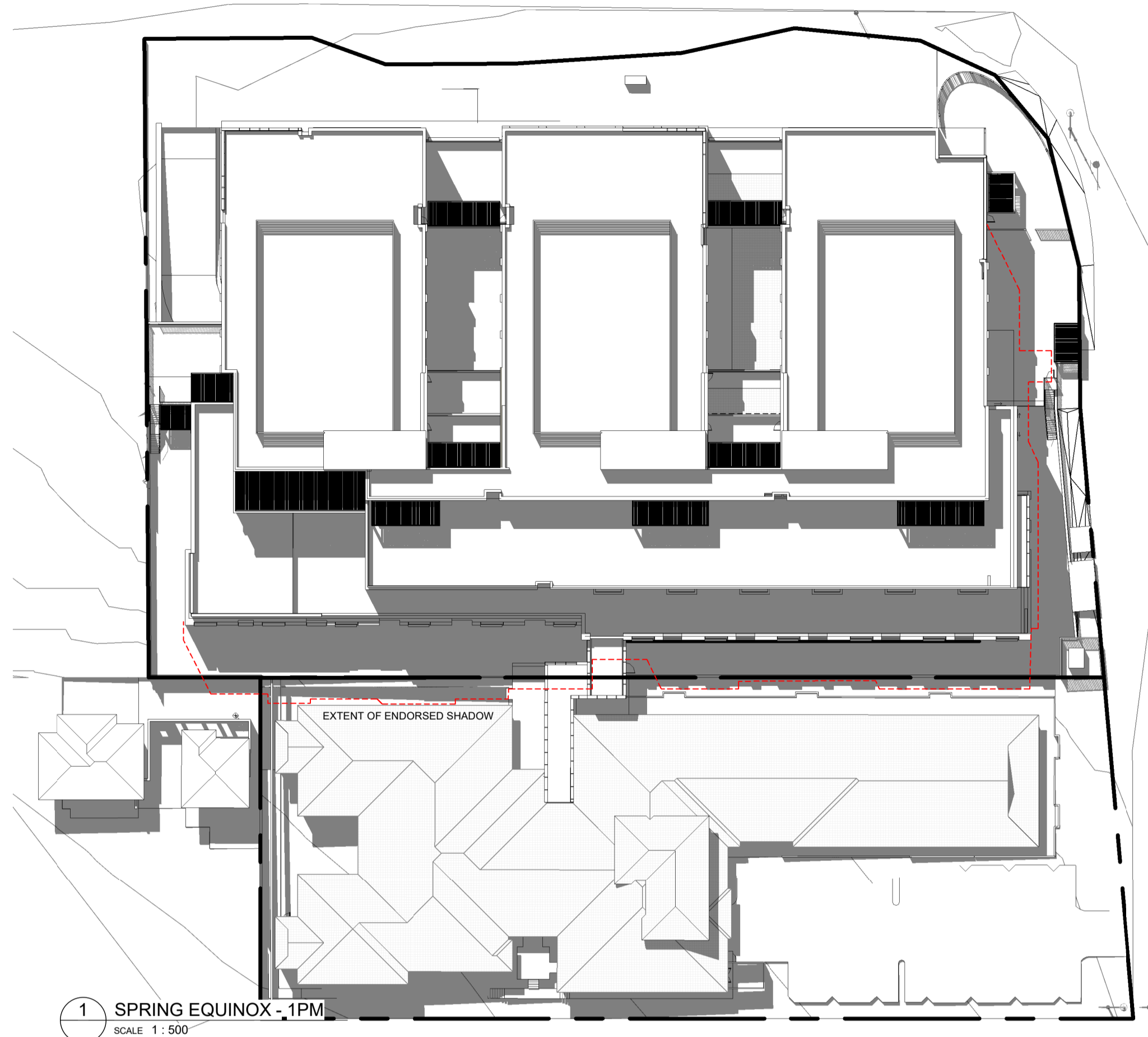
24/03/2020



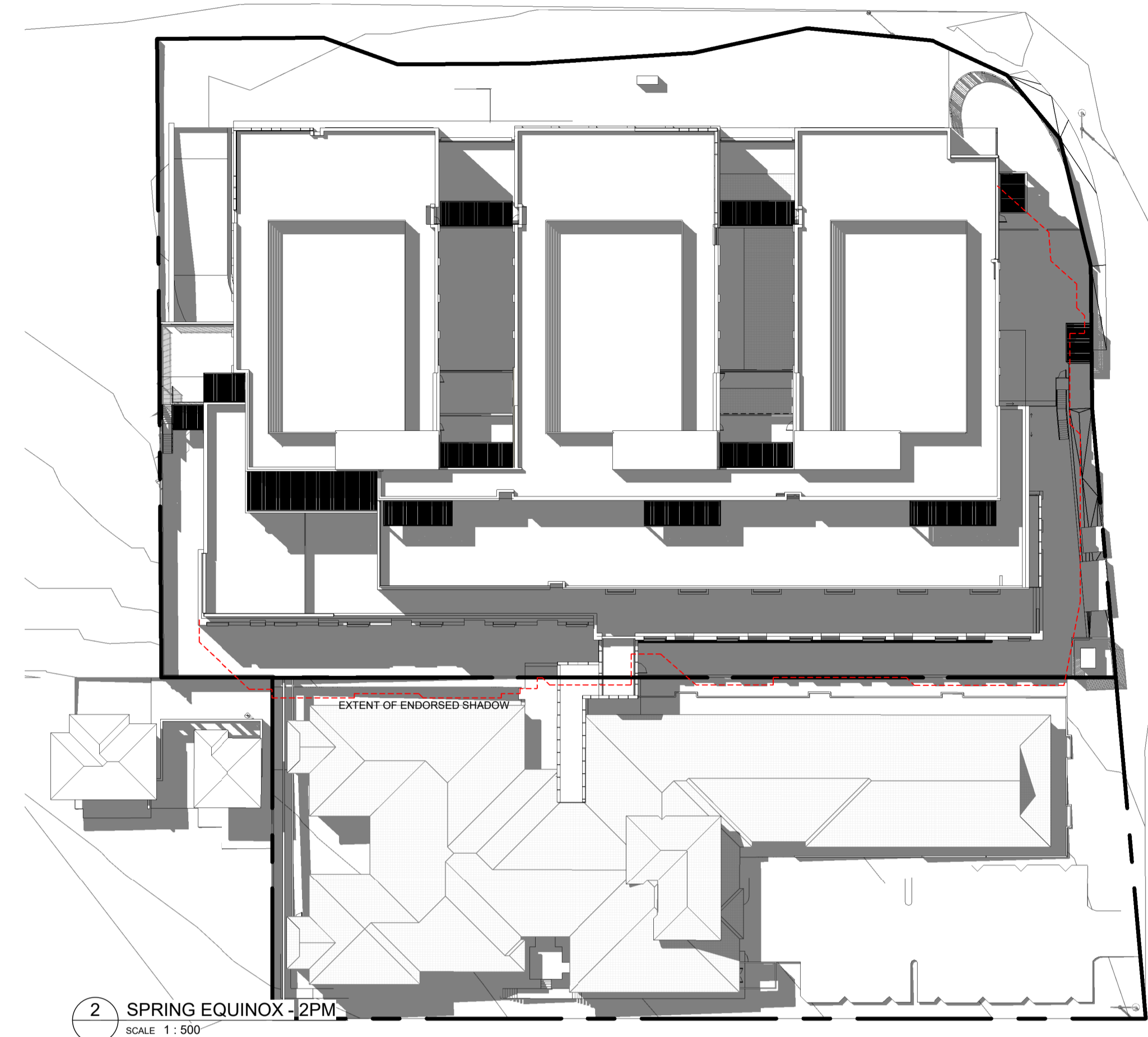
16052

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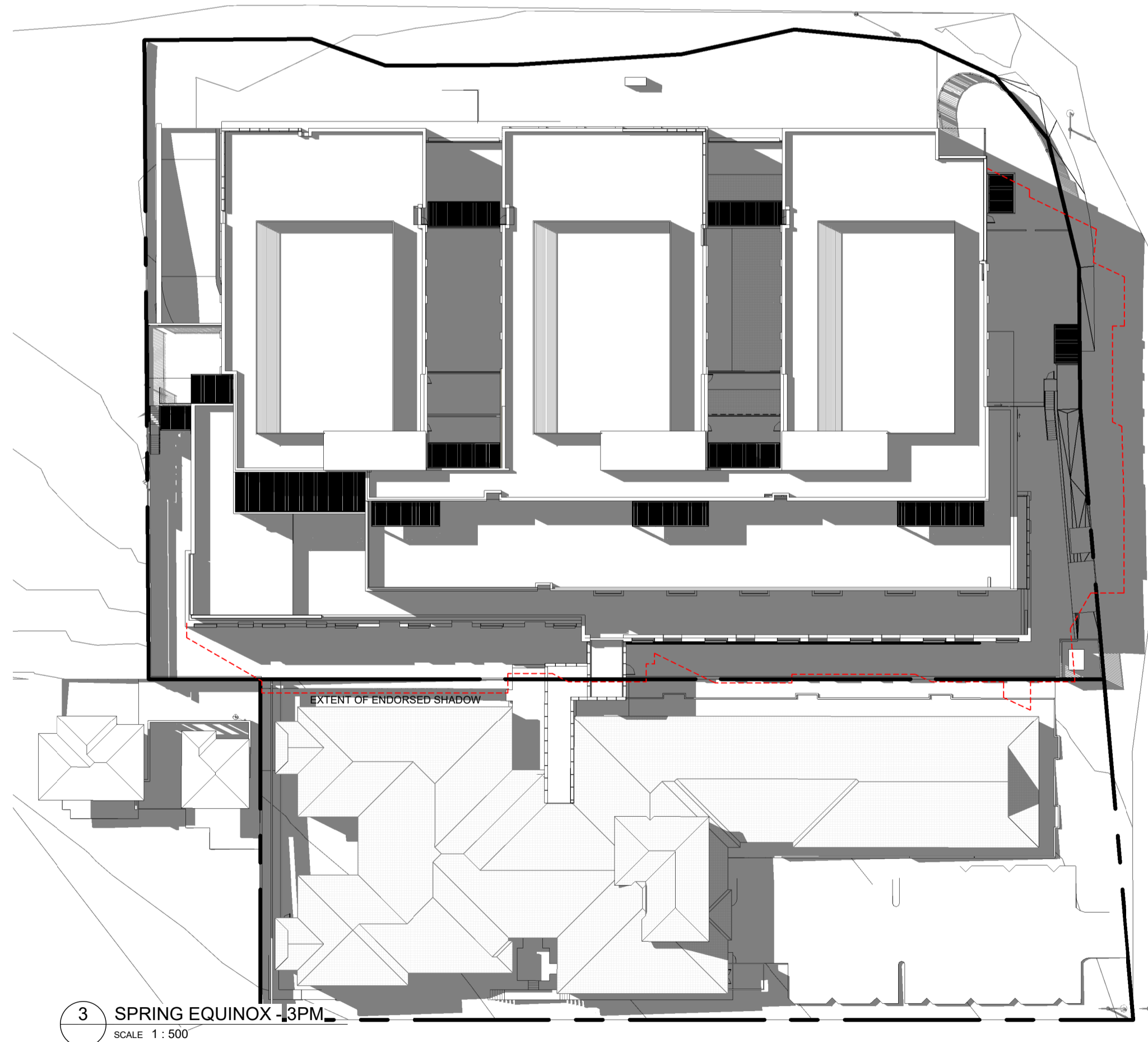




1 SPRING EQUINOX - 1PM  
SCALE 1 : 500



2 SPRING EQUINOX - 2PM  
SCALE 1 : 500



3 SPRING EQUINOX - 3PM  
SCALE 1 : 500



CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

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Project

THE WILLOWS WHEELERS HILL  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL

Client

LIFEVUE RESIDENTIAL CARE

Amendments

No.	Date	Notes
A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/09/2019	REQUEST FOR FURTHER INFORMATION
F	24/03/2020	ISSUE TO COUNCIL

Title

SHADOW DIAGRAM

Sheet

PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet No.

TP21

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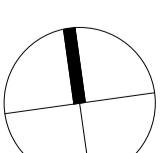
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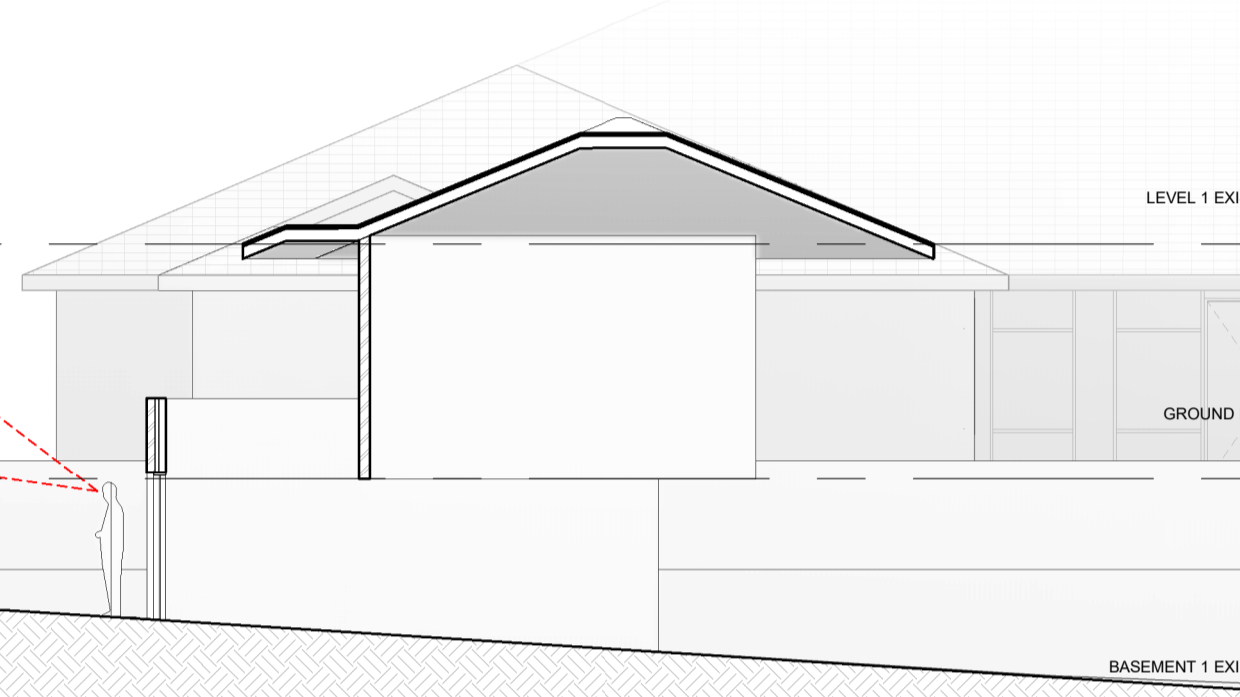
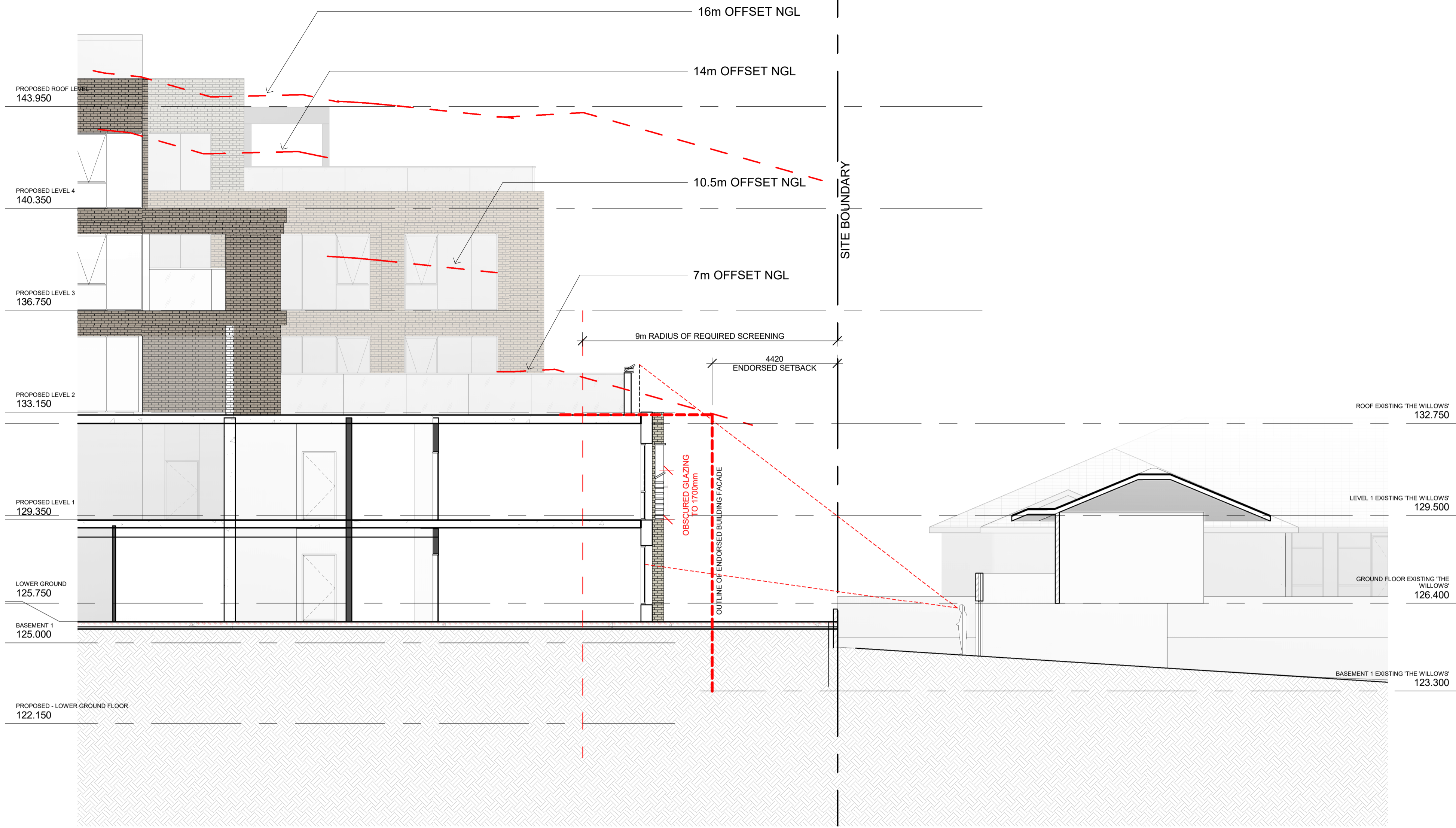
Date

24/03/2020



16052

Drawn by:AutoChecked by:Checker



1 Section 7  
SCALE 1 : 100

GLAZING OBSCURED WITH SCREENING TO 1700mm ABOVE FFL



16/052-2020/03/25 15:14:47



CHT Architects Pty Ltd  
44 Oxford Street  
Collingwood VIC 3066  
Post Office Box 1352  
Collingwood VIC 3066  
Telephone 03 9417 1944  
Facsimile 03 9415 1847  
info@chtarchitects.com.au  
chtarchitects.com.au

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Project  
**THE WILLOWS WHEELERS HILL**  
161 - 169 & 171 - 175 JELLS ROAD, WHEELERS HILL  
Client  
**LIFEVUE RESIDENTIAL CARE**

No.	Date	Notes
A	16/05/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES
D	21/08/2019	REVISED DESIGN
E	22/08/2019	REQUEST FOR FURTHER INFORMATION

Title  
**SCREENING SECTIONS**  
Sheet  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

Sheet No.  
**TP23**  
Scale  
1 : 100@A1  
Date  
22/08/2019

Revision  
**E**

**16052**

# THE WILLOWS WHEELERS HILL

## LANDSCAPE TOWN PLANNING SUBMISSION PACKAGE

OCTOBER 2019

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TP002	LIFESTYLE TYPOLOGIES	TP112	LANDSCAPE PLAN 12 LEVEL 03	TP211	PLANTING PLAN 11 LEVEL 03
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SITE IMAGE



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171-175 JELLS ROAD  
 EXISTING FACILITY 'THE WILLOWS'

**THE WILLOWS WHEELERS HILL,**  
 161-169 & 171-175 JELLS ROAD, WHEELERS HILL

**SITE PLAN**

CLIENT	LIFETIME RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP001
ISSUE	B
DATE	24.10.2019



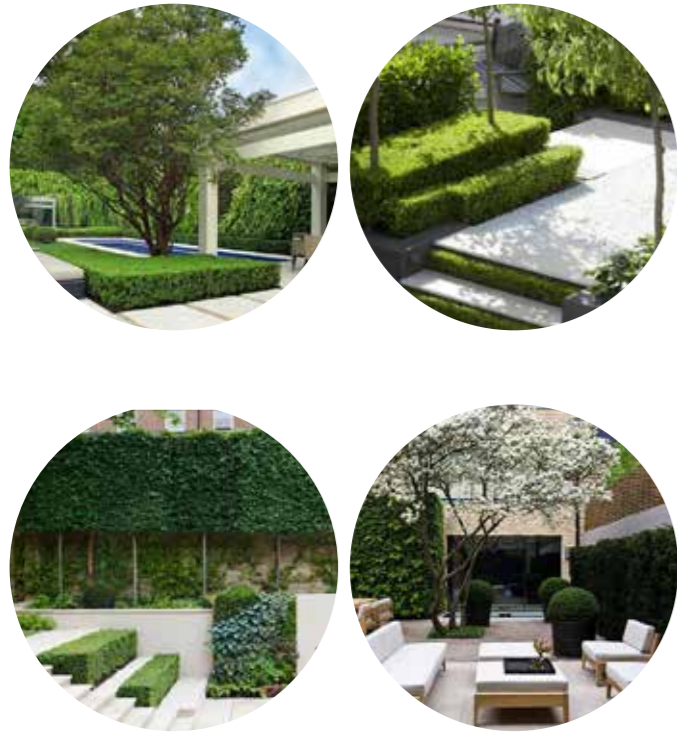
**SITE IMAGE**  
 Landscape Architects

Melbourne | Sydney

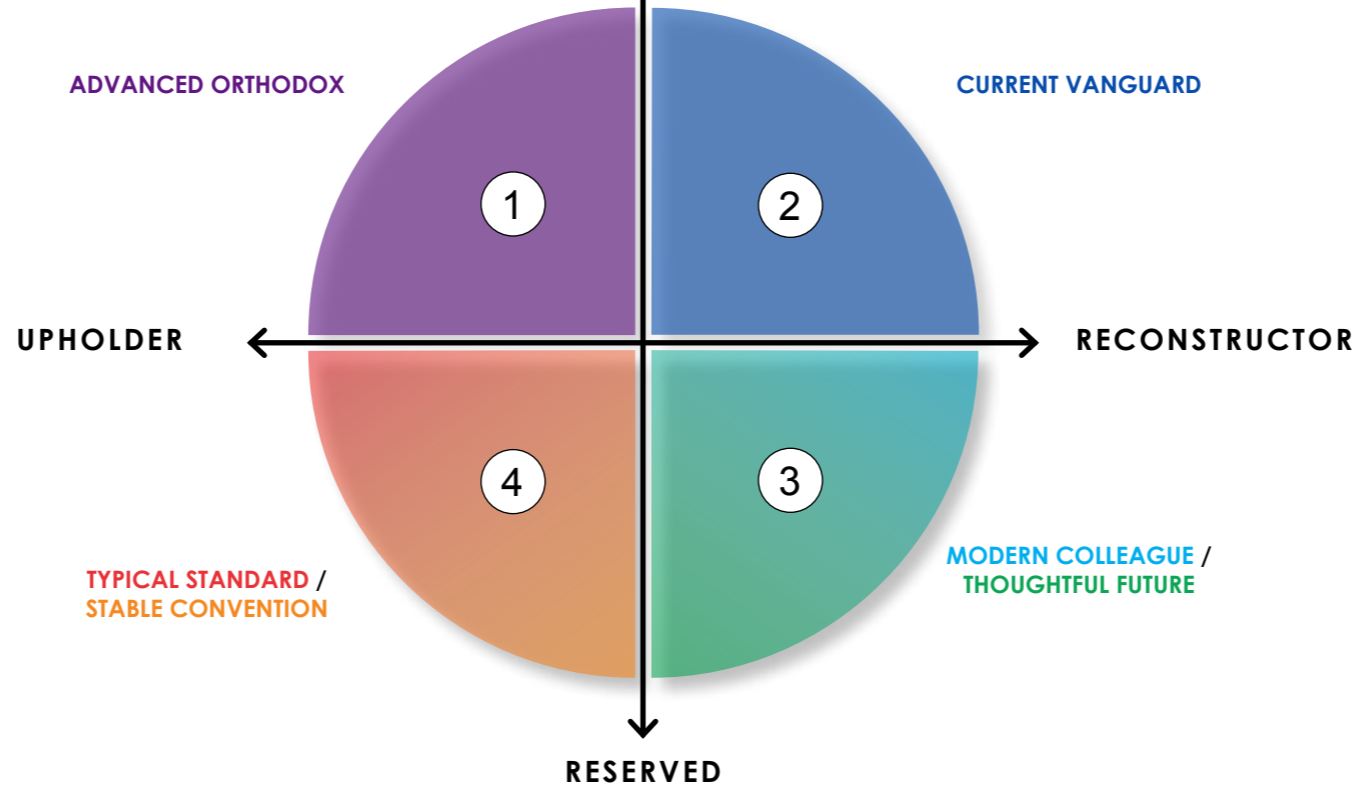
SITE PLAN  
 NOT TO SCALE

**ADVANCED ORTHODOX**

CONSERVATIVE | WEALTH | STYLE | TECHNOLOGY | FORMAL



**EXPERIENCER**



**CURRENT VANGUARD**

LAVISH | LIBERAL | WORLDLY | ARTISTIC | IMMERSIVE



**TYPICAL STANDARD**

HONEST | STABILITY | PREDICTABLE  
CONVENIENT | COMMUNITY



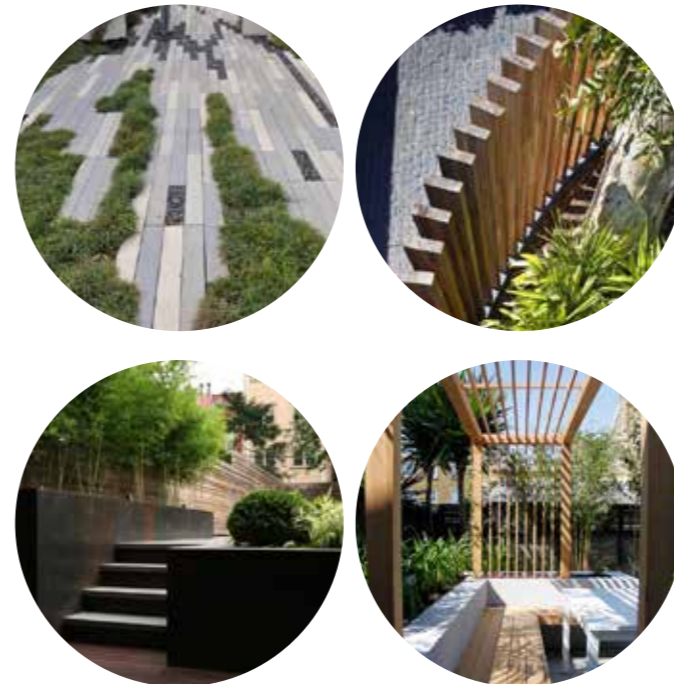
**STABLE CONVENTION**

SIMPLE | TRADITIONAL | FAMILY  
RESPECTABLE | COMFORT



**THOUGHTFUL FUTURE**

PASSIVE | IDEALISTIC | SENSIBLE  
INDEPENDENT | SOCIALLY CONSCIOUS



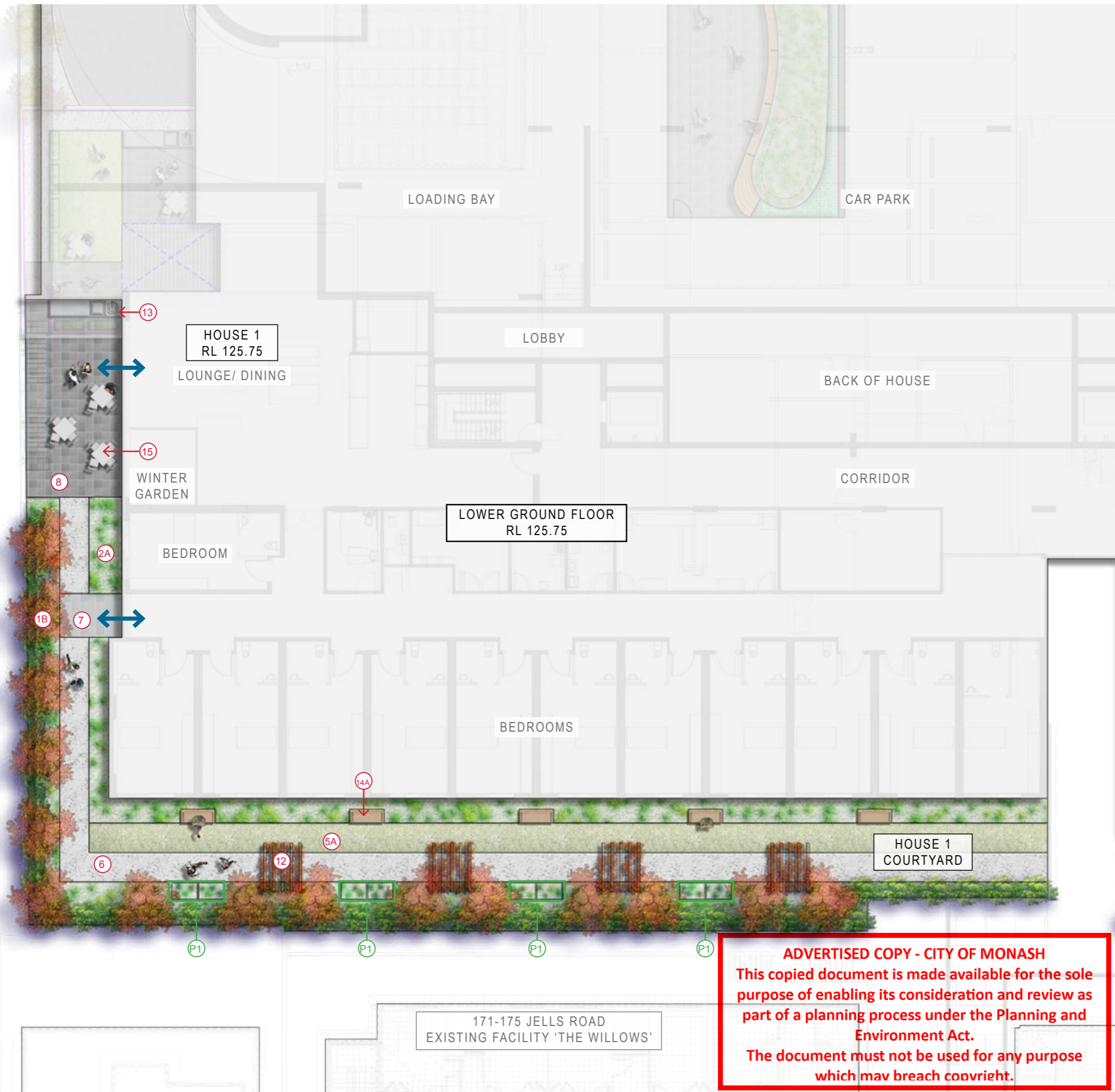
**MODERN COLLEAGUE**

PROGRESSIVE | STRUCTURE | RESERVED  
EXPLORER | CHARITABLE



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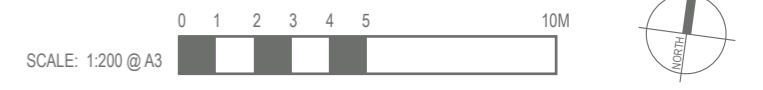
830 FERNTREE GULLY ROAD



LANDSCAPE PLAN | LOWER GROUND FLOOR  
NOT TO SCALE

LEGEND

- 1A) EVERGREEN TREE
- 1B) DECIDUOUS TREE
- 2A) MASS PLANTING
- 2B) SEASONAL MASS PLANTING
- 3) SCREEN PLANTING
- 4) CREEPER TO WALL/FENCE
- 5A) TURF
- 5B) ARTIFICIAL TURF
- 6) PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- 7) PAVING - TYPE 02  
SEGMENTAL LARGE FORMAT PAVEMENT
- 8) PAVING - TYPE 03  
UNIT PAVEMENT
- 9) PAVING - TYPE 03  
COBBLESTONE PAVEMENT
- 10) ROCK BALLAST
- 11) WATER WALL
- 12) FIXED PERGOLA / ARBOR  
WITH DECIDUOUS CLIMBER OVER
- 13) FIXED BBQ AND SINK
- 14A) BENCH SEAT WITH BACK & HANDRAILS
- 14B) CUSTOM BENCH SEAT WITH BACK  
450 HT. WITH STAINLESS STEEL HANDRAILS AT  
3.0M CENTRES
- 15) LOOSE FURNITURE
- 16) BIRD BATH
- 17) CLEAR BALUSTRADE  
1800 HT.
- 18) FIXED OVERHEAD STRUCTURE  
(VERGOLA OR SIMILAR)
- 19) RETAINING WALL
- 20) MOSAIC PLANTER WALL  
600 HT.
- F1) FENCE - TYPE 01  
2100 HT. SOLID FENCE
- F2) FENCE - TYPE 02  
2100 HT. SOLID FENCE WITH TRELLIS FOR  
CLIMBERS
- F3) FENCE - TYPE 03  
2400 HT. VERTICAL PALISADE FENCE
- P1) RAISED PLANTER - TYPE 01  
WHEELCHAIR ACCESSIBLE RESIDENT PLANTERS  
1350L X 915W X 820H
- P2) RAISED PLANTER - TYPE 02  
WITH ORNAMENTAL PLANTING  
1500L / 2000L X 500W X 500H
- - - BUILDING OVER
- ↔ BUILDING ENTRY/EXIT
- MOUNDING  
100MM CONTOURS INDICATED  
MAX 1:5 GRADE



THE WILLOWS WHEELERS HILL,  
161-169 & 171-175 JELLS ROAD, WHEELERS HILL

LANDSCAPE PLAN 01 | LOWER GROUND FLOOR

CLIENT	LIFEVUE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP101
ISSUE	B
DATE	24.10.2019



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LANDSCAPE PLAN | LOWER GROUND FLOOR  
NOT TO SCALE

LEGEND

- |  |   |
|--|---|
| (1A) EVERGREEN TREE  | (17) CLEAR BALUSTRADE<br>1800 HT.   |
| (1B) DECIDUOUS TREE  | (18) FIXED OVERHEAD STRUCTURE<br>(VERGOLA OR SIMILAR)   |
| (2A) MASS PLANTING   | (19) RETAINING WALL   |
| (2B) SEASONAL MASS PLANTING  | (20) MOSAIC PLANTER WALL<br>600 HT.   |
| (3) SCREEN PLANTING  | (F1) FENCE - TYPE 01<br>2100 HT. SOLID FENCE  |
| (4) CREEPER TO WALL/FENCE  | (F2) FENCE - TYPE 02<br>2100 HT. SOLID FENCE WITH TRELLIS FOR CLIMBERS                          |
| (5A) TURF  | (F3) FENCE - TYPE 03<br>2400 HT. VERTICAL PALISADE FENCE  |
| (5B) ARTIFICIAL TURF   | (P1) RAISED PLANTER - TYPE 01<br>WHEELCHAIR ACCESSIBLE RESIDENT PLANTERS<br>1350L X 915W X 820H |
| (6) PAVING - TYPE 01<br>EXPOSED AGGREGATE CONCRETE   | (P2) RAISED PLANTER - TYPE 02<br>WITH ORNAMENTAL PLANTING<br>1500L / 2000L X 500W X 500H        |
| (7) PAVING - TYPE 02<br>SEGMENTAL LARGE FORMAT PAVEMENT  | — BUILDING OVER   |
| (8) PAVING - TYPE 03<br>UNIT PAVEMENT  | ↔ BUILDING ENTRY/EXIT   |
| (9) PAVING - TYPE 03<br>COBBLESTONE PAVEMENT   | ○ MOUNDING<br>100MM CONTOURS INDICATED<br>MAX 1:5 GRADE   |
| (10) ROCK BALLAST  |   |
| (11) WATER WALL  |   |
| (12) FIXED PERGOLA / ARBOR<br>WITH DECIDUOUS CLIMBER OVER                                      |   |
| (13) FIXED BBQ AND SINK  |   |
| (14A) BENCH SEAT WITH BACK & HANDRAILS   |   |
| (14B) CUSTOM BENCH SEAT WITH BACK<br>450 HT. WITH STAINLESS STEEL HANDRAILS AT<br>3.0M CENTRES |   |
| (15) LOOSE FURNITURE   |   |
| (16) BIRD BATH   |   |



THE WILLOWS WHEELERS HILL,  
161-169 & 171-175 JELLS ROAD, WHEELERS HILL

LANDSCAPE PLAN 02 | LOWER GROUND FLOOR

CLIENT	LIFEVUE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP102
ISSUE	B
DATE	24.10.2019

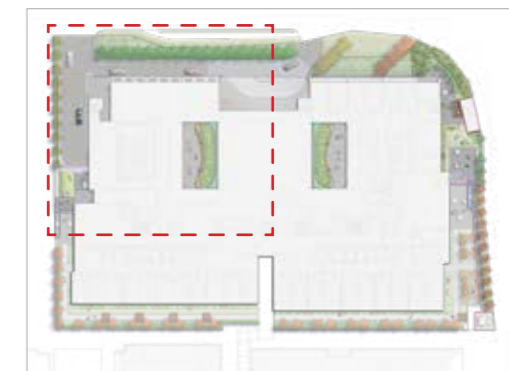
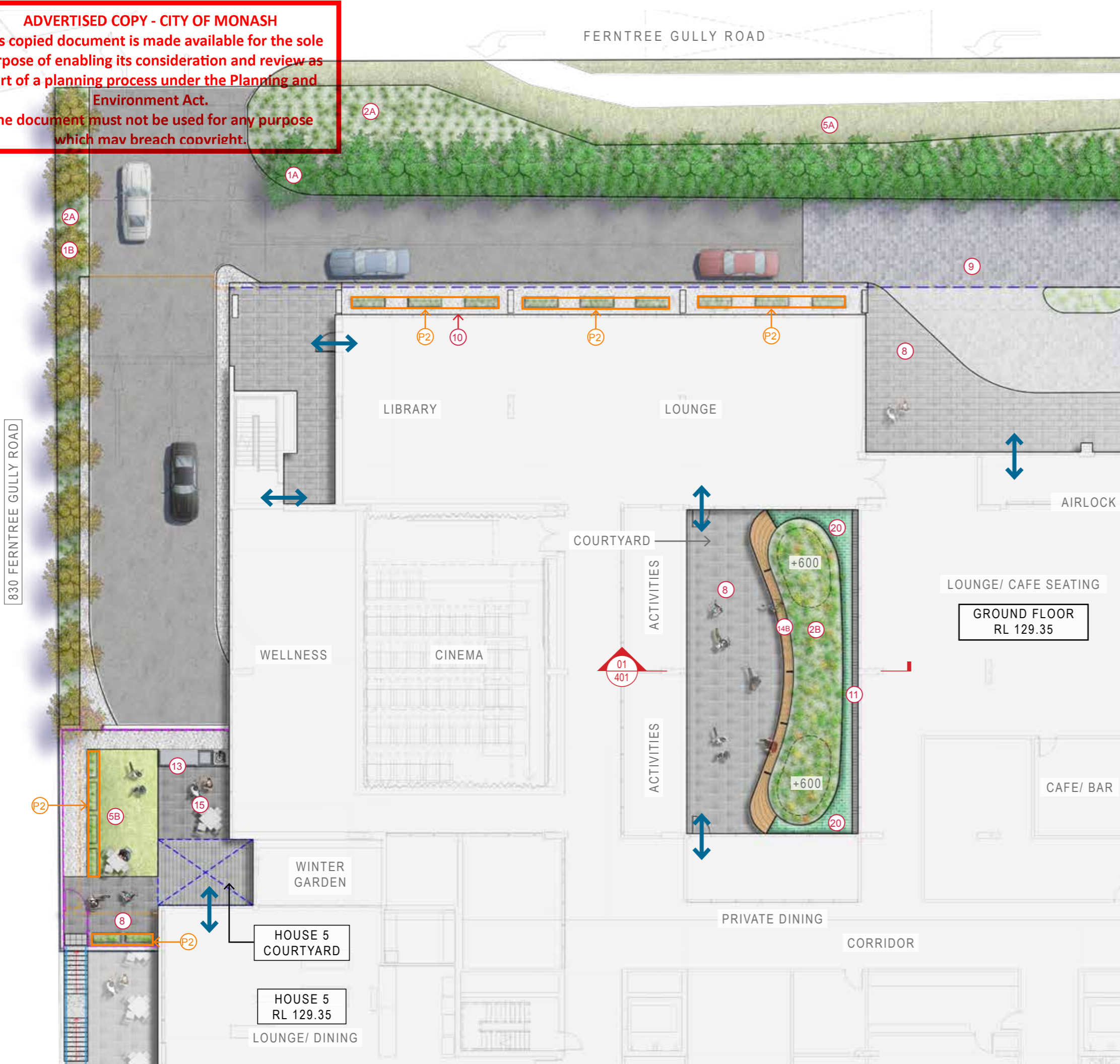


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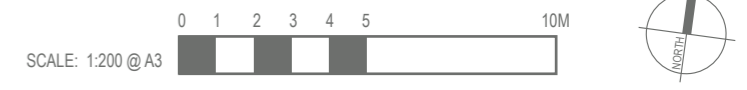
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LANDSCAPE PLAN | GROUND FLOOR  
NOT TO SCALE

**LEGEND**

- (1A) EVERGREEN TREE
- (1B) DECIDUOUS TREE
- (2A) MASS PLANTING
- (2B) SEASONAL MASS PLANTING
- (3) SCREEN PLANTING
- (4) CREEPER TO WALL/FENCE
- (5A) TURF
- (5B) ARTIFICIAL TURF
- (6) PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- (7) PAVING - TYPE 02  
SEGMENTAL LARGE FORMAT PAVEMENT
- (8) PAVING - TYPE 03  
UNIT PAVEMENT
- (9) PAVING - TYPE 03  
COBBLESTONE PAVEMENT
- (10) ROCK BALLAST
- (11) WATER WALL
- (12) FIXED PERGOLA / ARBOR  
WITH DECIDUOUS CLIMBER OVER
- (13) FIXED BBQ AND SINK
- (14A) BENCH SEAT WITH BACK & HANDRAILS
- (14B) CUSTOM BENCH SEAT WITH BACK  
450 HT. WITH STAINLESS STEEL HANDRAILS AT  
3.0M CENTRES
- (15) LOOSE FURNITURE
- (16) BIRD BATH
- (17) CLEAR BALUSTRADE  
1800 HT.
- (18) FIXED OVERHEAD STRUCTURE  
(VERGOLA OR SIMILAR)
- (19) RETAINING WALL
- (20) MOSAIC PLANTER WALL  
600 HT.
- (F1) FENCE - TYPE 01  
2100 HT. SOLID FENCE
- (F2) FENCE - TYPE 02  
2100 HT. SOLID FENCE WITH TRELLIS FOR  
CLIMBERS
- (F3) FENCE - TYPE 03  
2400 HT. VERTICAL PALISADE FENCE
- (P1) RAISED PLANTER - TYPE 01  
WHEELCHAIR ACCESSIBLE RESIDENT PLANTERS  
1350L X 915W X 820H
- (P2) RAISED PLANTER - TYPE 02  
WITH ORNAMENTAL PLANTING  
1500L / 2000L X 500W X 500H
- BUILDING OVER
- ↔ BUILDING ENTRY/EXIT
- MOUNDING  
100MM CONTOURS INDICATED  
MAX 1:5 GRADE



**THE WILLOWS WHEELERS HILL,**  
161-169 & 171-175 JELLS ROAD, WHEELERS HILL

**LANDSCAPE PLAN 03 | GROUND FLOOR**

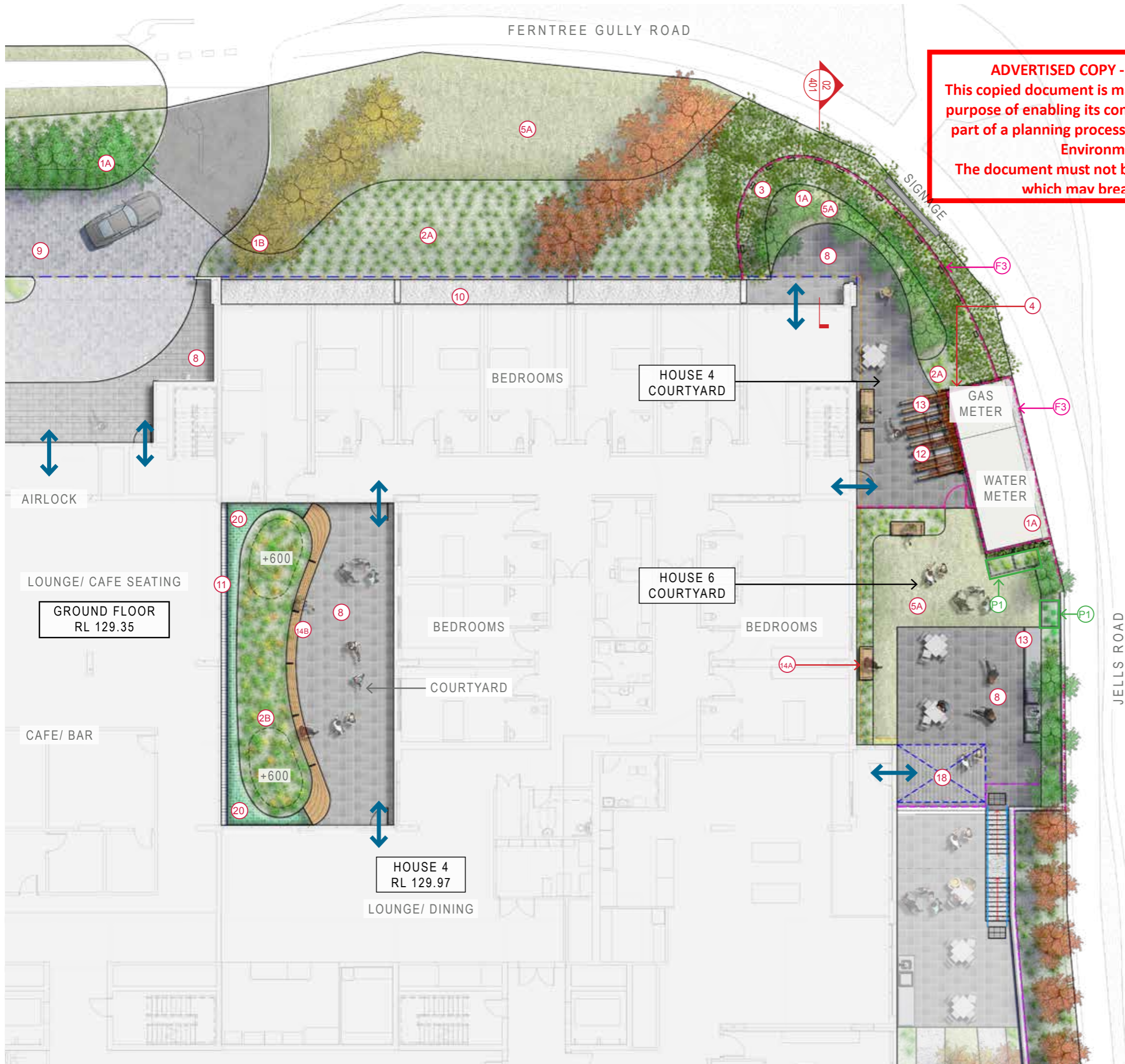
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ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP103
ISSUE	B
DATE	24.10.2019



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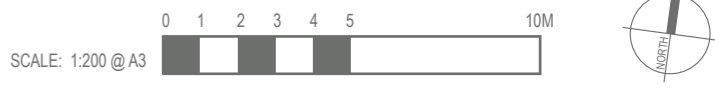


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LANDSCAPE PLAN | GROUND FLOOR  
 NOT TO SCALE

- LEGEND**
- (1A) EVERGREEN TREE
  - (1B) DECIDUOUS TREE
  - (2A) MASS PLANTING
  - (2B) SEASONAL MASS PLANTING
  - (3) SCREEN PLANTING
  - (4) CREEPER TO WALL/FENCE
  - (5A) TURF
  - (5B) ARTIFICIAL TURF
  - (6) PAVING - TYPE 01 EXPOSED AGGREGATE CONCRETE
  - (7) PAVING - TYPE 02 SEGMENTAL LARGE FORMAT PAVEMENT
  - (8) PAVING - TYPE 03 UNIT PAVEMENT
  - (9) PAVING - TYPE 03 COBBLESTONE PAVEMENT
  - (10) ROCK BALLAST
  - (11) WATER WALL
  - (12) FIXED PERGOLA / ARBOR WITH DECIDUOUS CLIMBER OVER
  - (13) FIXED BBQ AND SINK
  - (14A) BENCH SEAT WITH BACK & HANDRAILS
  - (14B) CUSTOM BENCH SEAT WITH BACK 450 HT. WITH STAINLESS STEEL HANDRAILS AT 3.0M CENTRES
  - (15) LOOSE FURNITURE
  - (16) BIRD BATH
  - (17) CLEAR BALUSTRADE 1800 HT.
  - (18) FIXED OVERHEAD STRUCTURE (VERGOLA OR SIMILAR)
  - (19) RETAINING WALL
  - (20) MOSAIC PLANTER WALL 600 HT.
  - (F1) FENCE - TYPE 01 2100 HT. SOLID FENCE
  - (F2) FENCE - TYPE 02 2100 HT. SOLID FENCE WITH TRELIS FOR CLIMBERS
  - (F3) FENCE - TYPE 03 2400 HT. VERTICAL PALISADE FENCE
  - (P1) RAISED PLANTER - TYPE 01 WHEELCHAIR ACCESSIBLE RESIDENT PLANTERS 1350L X 915W X 820H
  - (P2) RAISED PLANTER - TYPE 02 WITH ORNAMENTAL PLANTING 1500L / 2000L X 500W X 500H
  - BUILDING OVER
  - ↔ BUILDING ENTRY/EXIT
  - MOUNDING 100MM CONTOURS INDICATED MAX 1:5 GRADE



**THE WILLOWS WHEELERS HILL,**  
 161-169 & 171-175 JELLS ROAD, WHEELERS HILL

**LANDSCAPE PLAN 04 | GROUND FLOOR**

CLIENT: LIFEVUE RESIDENTIAL CARE  
 ARCHITECT: CHT ARCHITECTS  
 SITE IMAGE JOB NUMBER: SM18282  
 DRAWING NUMBER: TP104  
 ISSUE: C  
 DATE: 24.10.2019



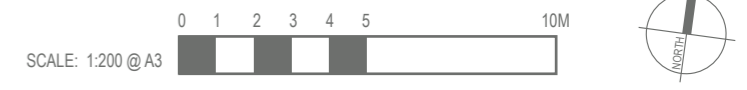
**SITE IMAGE**  
 Landscape Architects

Melbourne | Sydney



LEGEND

- (1A) EVERGREEN TREE
- (1B) DECIDUOUS TREE
- (2A) MASS PLANTING
- (2B) SEASONAL MASS PLANTING
- (3) SCREEN PLANTING
- (4) CREEPER TO WALL/FENCE
- (5A) TURF
- (5B) ARTIFICIAL TURF
- (6) PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- (7) PAVING - TYPE 02  
SEGMENTAL LARGE FORMAT PAVEMENT
- (8) PAVING - TYPE 03  
UNIT PAVEMENT
- (9) PAVING - TYPE 03  
COBBLESTONE PAVEMENT
- (10) ROCK BALLAST
- (11) WATER WALL
- (12) FIXED PERGOLA / ARBOR  
WITH DECIDUOUS CLIMBER OVER
- (13) FIXED BBQ AND SINK
- (14A) BENCH SEAT WITH BACK & HANDRAILS
- (14B) CUSTOM BENCH SEAT WITH BACK  
450 HT. WITH STAINLESS STEEL HANDRAILS AT  
3.0M CENTRES
- (15) LOOSE FURNITURE
- (16) BIRD BATH
- (17) CLEAR BALUSTRADE  
1800 HT.
- (18) FIXED OVERHEAD STRUCTURE  
(VERGOLA OR SIMILAR)
- (19) RETAINING WALL
- (20) MOSAIC PLANTER WALL  
600 HT.
- (F1) FENCE - TYPE 01  
2100 HT. SOLID FENCE
- (F2) FENCE - TYPE 02  
2100 HT. SOLID FENCE WITH TRELLIS FOR  
CLIMBERS
- (F3) FENCE - TYPE 03  
2400 HT. VERTICAL PALISADE FENCE
- (P1) RAISED PLANTER - TYPE 01  
WHEELCHAIR ACCESSIBLE RESIDENT PLANTERS  
1350L X 915W X 820H
- (P2) RAISED PLANTER - TYPE 02  
WITH ORNAMENTAL PLANTING  
1500L / 2000L X 500W X 500H
- BUILDING OVER
- ↔ BUILDING ENTRY/EXIT
- MOUNDING  
100MM CONTOURS INDICATED  
MAX 1:5 GRADE



THE WILLOWS WHEELERS HILL,  
161-169 & 171-175 JELLS ROAD, WHEELERS HILL

LANDSCAPE PLAN 05 | GROUND FLOOR

CLIENT	LIFEVUE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP105
ISSUE	B
DATE	24.10.2019

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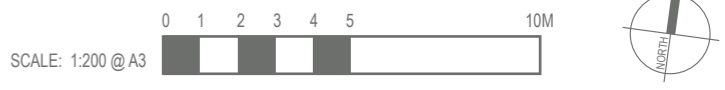
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LANDSCAPE PLAN | LEVEL 01  
 NOT TO SCALE



- LEGEND**
- (1A) EVERGREEN TREE
  - (1B) DECIDUOUS TREE
  - (2A) MASS PLANTING
  - (2B) SEASONAL MASS PLANTING
  - (3) SCREEN PLANTING
  - (4) CREEPER TO WALL/FENCE
  - (5A) TURF
  - (5B) ARTIFICIAL TURF
  - (6) PAVING - TYPE 01 EXPOSED AGGREGATE CONCRETE
  - (7) PAVING - TYPE 02 SEGMENTAL LARGE FORMAT PAVEMENT
  - (8) PAVING - TYPE 03 UNIT PAVEMENT
  - (9) PAVING - TYPE 03 COBBLESTONE PAVEMENT
  - (10) ROCK BALLAST
  - (11) WATER WALL
  - (12) FIXED PERGOLA / ARBOR WITH DECIDUOUS CLIMBER OVER
  - (13) FIXED BBQ AND SINK
  - (14A) BENCH SEAT WITH BACK & HANDRAILS
  - (14B) CUSTOM BENCH SEAT WITH BACK 450 HT. WITH STAINLESS STEEL HANDRAILS AT 3.0M CENTRES
  - (15) LOOSE FURNITURE
  - (16) BIRD BATH
  - (17) CLEAR BALUSTRADE 1800 HT.
  - (18) FIXED OVERHEAD STRUCTURE (VERGOLA OR SIMILAR)
  - (19) RETAINING WALL
  - (20) MOSAIC PLANTER WALL 600 HT.
  - (F1) FENCE - TYPE 01 2100 HT. SOLID FENCE
  - (F2) FENCE - TYPE 02 2100 HT. SOLID FENCE WITH TRELIS FOR CLIMBERS
  - (F3) FENCE - TYPE 03 2400 HT. VERTICAL PALISADE FENCE
  - (P1) RAISED PLANTER - TYPE 01 WHEELCHAIR ACCESSIBLE RESIDENT PLANTERS 1350L X 915W X 820H
  - (P2) RAISED PLANTER - TYPE 02 WITH ORNAMENTAL PLANTING 1500L / 2000L X 500W X 500H
  - BUILDING OVER
  - ↔ BUILDING ENTRY/EXIT
  - MOUNDING 100MM CONTOURS INDICATED MAX 1:5 GRADE



**THE WILLOWS WHEELERS HILL,**  
 161-169 & 171-175 JELLS ROAD, WHEELERS HILL

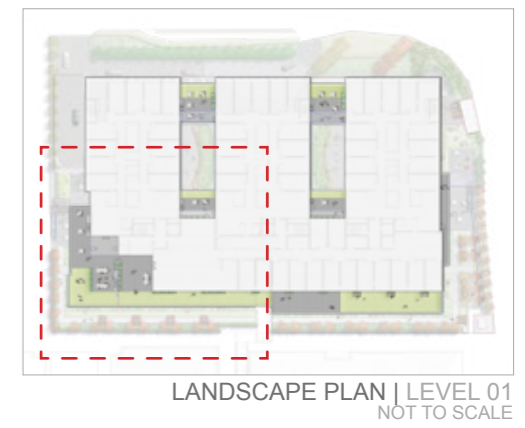
**LANDSCAPE PLAN 06 | LEVEL 01**

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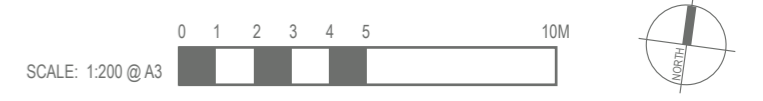
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**LEGEND**

- (1A) EVERGREEN TREE
- (1B) DECIDUOUS TREE
- (2A) MASS PLANTING
- (2B) SEASONAL MASS PLANTING
- (3) SCREEN PLANTING
- (4) CREEPER TO WALL/FENCE
- (5A) TURF
- (5B) ARTIFICIAL TURF
- (6) PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- (7) PAVING - TYPE 02  
SEGMENTAL LARGE FORMAT PAVEMENT
- (8) PAVING - TYPE 03  
UNIT PAVEMENT
- (9) PAVING - TYPE 03  
COBBLESTONE PAVEMENT
- (10) ROCK BALLAST
- (11) WATER WALL
- (12) FIXED PERGOLA / ARBOR  
WITH DECIDUOUS CLIMBER OVER
- (13) FIXED BBQ AND SINK
- (14A) BENCH SEAT WITH BACK & HANDRAILS
- (14B) CUSTOM BENCH SEAT WITH BACK  
450 HT. WITH STAINLESS STEEL HANDRAILS AT  
3.0M CENTRES
- (15) LOOSE FURNITURE
- (16) BIRD BATH
- (17) CLEAR BALUSTRADE  
1800 HT.
- (18) FIXED OVERHEAD STRUCTURE  
(VERGOLA OR SIMILAR)
- (19) RETAINING WALL
- (20) MOSAIC PLANTER WALL  
600 HT.
- (F1) FENCE - TYPE 01  
2100 HT. SOLID FENCE
- (F2) FENCE - TYPE 02  
2100 HT. SOLID FENCE WITH TRELIS FOR  
CLIMBERS
- (F3) FENCE - TYPE 03  
2400 HT. VERTICAL PALISADE FENCE
- (P1) RAISED PLANTER - TYPE 01  
WHEELCHAIR ACCESSIBLE RESIDENT PLANTERS  
1350L X 915W X 820H
- (P2) RAISED PLANTER - TYPE 02  
WITH ORNAMENTAL PLANTING  
1500L / 2000L X 500W X 500H
- BUILDING OVER
- ↔ BUILDING ENTRY/EXIT
- MOUNDING  
100MM CONTOURS INDICATED  
MAX 1:5 GRADE



**THE WILLOWS WHEELERS HILL,**  
161-169 & 171-175 JELLS ROAD, WHEELERS HILL

**LANDSCAPE PLAN 07 | LEVEL 01**

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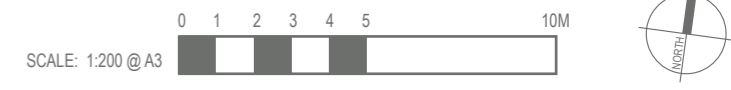
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LANDSCAPE PLAN | LEVEL 01  
NOT TO SCALE

LEGEND

- (1A) EVERGREEN TREE
- (1B) DECIDUOUS TREE
- (2A) MASS PLANTING
- (2B) SEASONAL MASS PLANTING
- (3) SCREEN PLANTING
- (4) CREEPER TO WALL/FENCE
- (5A) TURF
- (5B) ARTIFICIAL TURF
- (6) PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- (7) PAVING - TYPE 02  
SEGMENTAL LARGE FORMAT PAVEMENT
- (8) PAVING - TYPE 03  
UNIT PAVEMENT
- (9) PAVING - TYPE 03  
COBBLESTONE PAVEMENT
- (10) ROCK BALLAST
- (11) WATER WALL
- (12) FIXED PERGOLA / ARBOR  
WITH DECIDUOUS CLIMBER OVER
- (13) FIXED BBQ AND SINK
- (14A) BENCH SEAT WITH BACK & HANDRAILS
- (14B) CUSTOM BENCH SEAT WITH BACK  
450 HT. WITH STAINLESS STEEL HANDRAILS AT  
3.0M CENTRES
- (15) LOOSE FURNITURE
- (16) BIRD BATH
- (17) CLEAR BALUSTRADE  
1800 HT.
- (18) FIXED OVERHEAD STRUCTURE  
(VERGOLA OR SIMILAR)
- (19) RETAINING WALL
- (20) MOSAIC PLANTER WALL  
600 HT.
- (F1) FENCE - TYPE 01  
2100 HT. SOLID FENCE
- (F2) FENCE - TYPE 02  
2100 HT. SOLID FENCE WITH TRELLIS FOR  
CLIMBERS
- (F3) FENCE - TYPE 03  
2400 HT. VERTICAL PALISADE FENCE
- (P1) RAISED PLANTER - TYPE 01  
WHEELCHAIR ACCESSIBLE RESIDENT PLANTERS  
1350L X 915W X 820H
- (P2) RAISED PLANTER - TYPE 02  
WITH ORNAMENTAL PLANTING  
1500L / 2000L X 500W X 500H
- BUILDING OVER
- ↔ BUILDING ENTRY/EXIT
- MOUNDING  
100MM CONTOURS INDICATED  
MAX 1:5 GRADE



THE WILLOWS WHEELERS HILL,  
161-169 & 171-175 JELLS ROAD, WHEELERS HILL

LANDSCAPE PLAN 08 | LEVEL 01

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LANDSCAPE PLAN | LEVEL 02  
NOT TO SCALE

LEGEND

- |  |   |
|--|---|
| (1A) EVERGREEN TREE  | (17) CLEAR BALUSTRADE<br>1800 HT.   |
| (1B) DECIDUOUS TREE  | (18) FIXED OVERHEAD STRUCTURE<br>(VERGOLA OR SIMILAR)   |
| (2A) MASS PLANTING   | (19) RETAINING WALL   |
| (2B) SEASONAL MASS PLANTING  | (20) MOSAIC PLANTER WALL<br>600 HT.   |
| (3) SCREEN PLANTING  | (F1) FENCE - TYPE 01<br>2100 HT. SOLID FENCE  |
| (4) CREEPER TO WALL/FENCE  | (F2) FENCE - TYPE 02<br>2100 HT. SOLID FENCE WITH TRELLIS FOR CLIMBERS                          |
| (5A) TURF  | (F3) FENCE - TYPE 03<br>2400 HT. VERTICAL PALISADE FENCE  |
| (5B) ARTIFICIAL TURF   | (P1) RAISED PLANTER - TYPE 01<br>WHEELCHAIR ACCESSIBLE RESIDENT PLANTERS<br>1350L X 915W X 820H |
| (6) PAVING - TYPE 01<br>EXPOSED AGGREGATE CONCRETE   | (P2) RAISED PLANTER - TYPE 02<br>WITH ORNAMENTAL PLANTING<br>1500L / 2000L X 500W X 500H        |
| (7) PAVING - TYPE 02<br>SEGMENTAL LARGE FORMAT PAVEMENT  | — BUILDING OVER   |
| (8) PAVING - TYPE 03<br>UNIT PAVEMENT  | ↔ BUILDING ENTRY/EXIT   |
| (9) PAVING - TYPE 03<br>COBBLESTONE PAVEMENT   | ○ MOUNDING<br>100MM CONTOURS INDICATED<br>MAX 1:5 GRADE   |
| (10) ROCK BALLAST  |   |
| (11) WATER WALL  |   |
| (12) FIXED PERGOLA / ARBOR<br>WITH DECIDUOUS CLIMBER OVER                                      |   |
| (13) FIXED BBQ AND SINK  |   |
| (14A) BENCH SEAT WITH BACK & HANDRAILS   |   |
| (14B) CUSTOM BENCH SEAT WITH BACK<br>450 HT. WITH STAINLESS STEEL HANDRAILS AT<br>3.0M CENTRES |   |
| (15) LOOSE FURNITURE   |   |
| (16) BIRD BATH   |   |

SCALE: 1:200 @ A3



THE WILLOWS WHEELERS HILL,  
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LANDSCAPE PLAN 09 | LEVEL 02

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DATE	23.08.2019

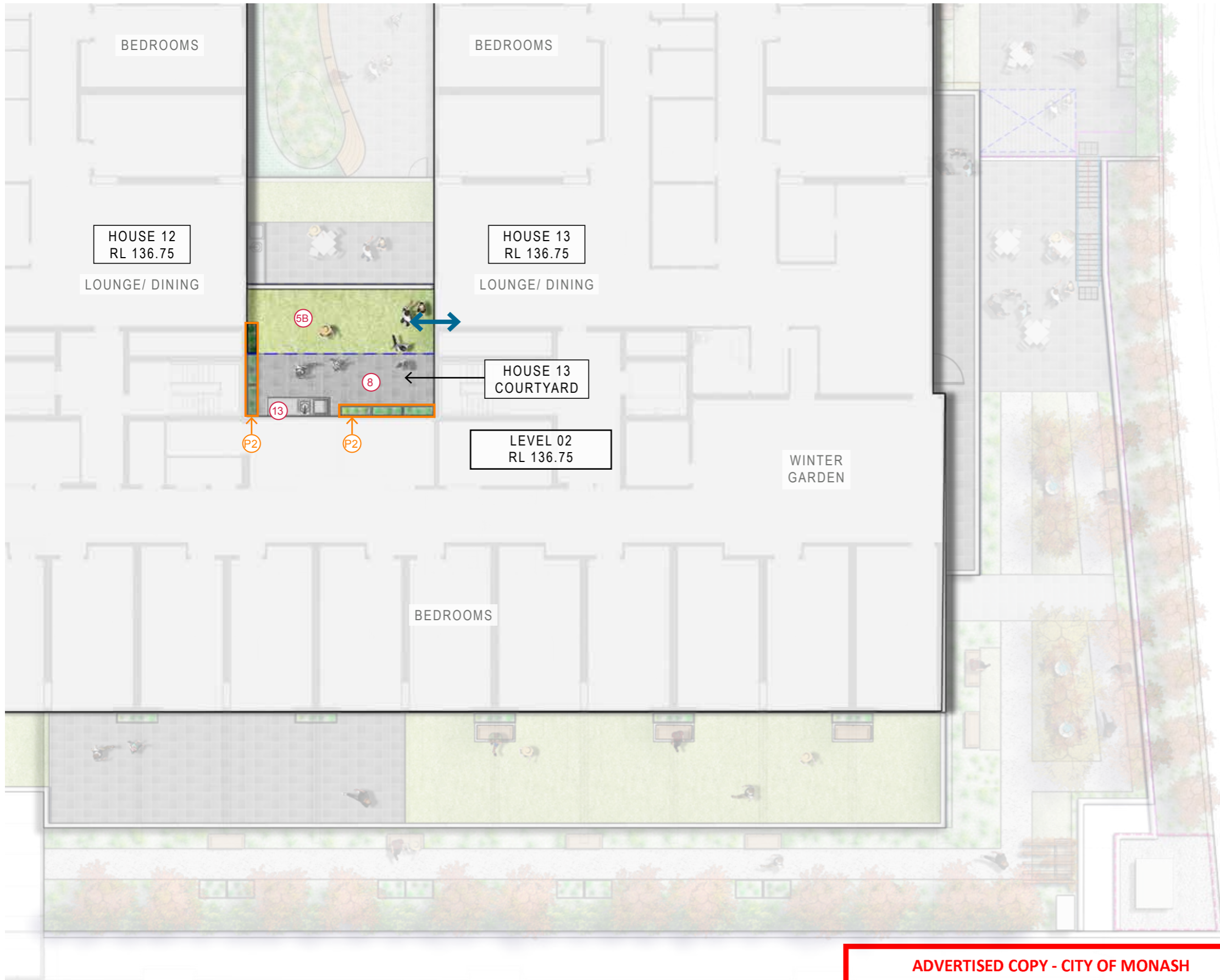


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LEGEND

- (1A) EVERGREEN TREE
- (1B) DECIDUOUS TREE
- (2A) MASS PLANTING
- (2B) SEASONAL MASS PLANTING
- (3) SCREEN PLANTING
- (4) CREEPER TO WALL/FENCE
- (5A) TURF
- (5B) ARTIFICIAL TURF
- (6) PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- (7) PAVING - TYPE 02  
SEGMENTAL LARGE FORMAT PAVEMENT
- (8) PAVING - TYPE 03  
UNIT PAVEMENT
- (9) PAVING - TYPE 03  
COBBLESTONE PAVEMENT
- (10) ROCK BALLAST
- (11) WATER WALL
- (12) FIXED PERGOLA / ARBOR  
WITH DECIDUOUS CLIMBER OVER
- (13) FIXED BBQ AND SINK
- (14A) BENCH SEAT WITH BACK & HANDRAILS
- (14B) CUSTOM BENCH SEAT WITH BACK  
450 HT. WITH STAINLESS STEEL HANDRAILS AT  
3.0M CENTRES
- (15) LOOSE FURNITURE
- (16) BIRD BATH
- (17) CLEAR BALUSTRADE  
1800 HT.
- (18) FIXED OVERHEAD STRUCTURE  
(VERGOLA OR SIMILAR)
- (19) RETAINING WALL
- (20) MOSAIC PLANTER WALL  
600 HT.
- (F1) FENCE - TYPE 01  
2100 HT. SOLID FENCE
- (F2) FENCE - TYPE 02  
2100 HT. SOLID FENCE WITH TRELLIS FOR  
CLIMBERS
- (F3) FENCE - TYPE 03  
2400 HT. VERTICAL PALISADE FENCE
- (P1) RAISED PLANTER - TYPE 01  
WHEELCHAIR ACCESSIBLE RESIDENT PLANTERS  
1350L X 915W X 820H
- (P2) RAISED PLANTER - TYPE 02  
WITH ORNAMENTAL PLANTING  
1500L / 2000L X 500W X 500H
- BUILDING OVER
- ↔ BUILDING ENTRY/EXIT
- MOUNDING  
100MM CONTOURS INDICATED  
MAX 1:5 GRADE



THE WILLOWS WHEELERS HILL,  
161-169 & 171-175 JELLS ROAD, WHEELERS HILL

LANDSCAPE PLAN 10 | LEVEL 02

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LANDSCAPE PLAN | LEVEL 03  
NOT TO SCALE

LEGEND

- (1A) EVERGREEN TREE
- (1B) DECIDUOUS TREE
- (2A) MASS PLANTING
- (2B) SEASONAL MASS PLANTING
- (3) SCREEN PLANTING
- (4) CREEPER TO WALL/FENCE
- (5A) TURF
- (5B) ARTIFICIAL TURF
- (6) PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- (7) PAVING - TYPE 02  
SEGMENTAL LARGE FORMAT PAVEMENT
- (8) PAVING - TYPE 03  
UNIT PAVEMENT
- (9) PAVING - TYPE 03  
COBBLESTONE PAVEMENT
- (10) ROCK BALLAST
- (11) WATER WALL
- (12) FIXED PERGOLA / ARBOR  
WITH DECIDUOUS CLIMBER OVER
- (13) FIXED BBQ AND SINK
- (14A) BENCH SEAT WITH BACK & HANDRAILS
- (14B) CUSTOM BENCH SEAT WITH BACK  
450 HT. WITH STAINLESS STEEL HANDRAILS AT  
3.0M CENTRES
- (15) LOOSE FURNITURE
- (16) BIRD BATH
- (17) CLEAR BALUSTRADE  
1800 HT.
- (18) FIXED OVERHEAD STRUCTURE  
(VERGOLA OR SIMILAR)
- (19) RETAINING WALL
- (20) MOSAIC PLANTER WALL  
600 HT.
- (F1) FENCE - TYPE 01  
2100 HT. SOLID FENCE
- (F2) FENCE - TYPE 02  
2100 HT. SOLID FENCE WITH TRELIS FOR  
CLIMBERS
- (F3) FENCE - TYPE 03  
2400 HT. VERTICAL PALISADE FENCE
- (P1) RAISED PLANTER - TYPE 01  
WHEELCHAIR ACCESSIBLE RESIDENT PLANTERS  
1350L X 915W X 820H
- (P2) RAISED PLANTER - TYPE 02  
WITH ORNAMENTAL PLANTING  
1500L / 2000L X 500W X 500H
- BUILDING OVER
- ↔ BUILDING ENTRY/EXIT
- MOUNDING  
100MM CONTOURS INDICATED  
MAX 1:5 GRADE



THE WILLOWS WHEELERS HILL,  
161-169 & 171-175 JELLS ROAD, WHEELERS HILL

LANDSCAPE PLAN 11 | LEVEL 03

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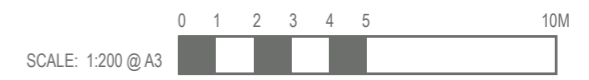
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LEGEND

- (1A) EVERGREEN TREE
- (1B) DECIDUOUS TREE
- (2A) MASS PLANTING
- (2B) SEASONAL MASS PLANTING
- (3) SCREEN PLANTING
- (4) CREEPER TO WALL/FENCE
- (5A) TURF
- (5B) ARTIFICIAL TURF
- (6) PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- (7) PAVING - TYPE 02  
SEGMENTAL LARGE FORMAT PAVEMENT
- (8) PAVING - TYPE 03  
UNIT PAVEMENT
- (9) PAVING - TYPE 03  
COBBLESTONE PAVEMENT
- (10) ROCK BALLAST
- (11) WATER WALL
- (12) FIXED PERGOLA / ARBOR  
WITH DECIDUOUS CLIMBER OVER
- (13) FIXED BBQ AND SINK
- (14A) BENCH SEAT WITH BACK & HANDRAILS
- (14B) CUSTOM BENCH SEAT WITH BACK  
450 HT. WITH STAINLESS STEEL HANDRAILS AT  
3.0M CENTRES
- (15) LOOSE FURNITURE
- (16) BIRD BATH
- (17) CLEAR BALUSTRADE  
1800 HT.
- (18) FIXED OVERHEAD STRUCTURE  
(VERGOLA OR SIMILAR)
- (19) RETAINING WALL
- (20) MOSAIC PLANTER WALL  
600 HT.
- (F1) FENCE - TYPE 01  
2100 HT. SOLID FENCE
- (F2) FENCE - TYPE 02  
2100 HT. SOLID FENCE WITH TRELLIS FOR  
CLIMBERS
- (F3) FENCE - TYPE 03  
2400 HT. VERTICAL PALISADE FENCE
- (P1) RAISED PLANTER - TYPE 01  
WHEELCHAIR ACCESSIBLE RESIDENT PLANTERS  
1350L X 915W X 820H
- (P2) RAISED PLANTER - TYPE 02  
WITH ORNAMENTAL PLANTING  
1500L / 2000L X 500W X 500H
- BUILDING OVER
- ↔ BUILDING ENTRY/EXIT
- MOUNDING  
100MM CONTOURS INDICATED  
MAX 1:5 GRADE



THE WILLOWS WHEELERS HILL,  
161-169 & 171-175 JELLS ROAD, WHEELERS HILL

LANDSCAPE PLAN 12 | LEVEL 03

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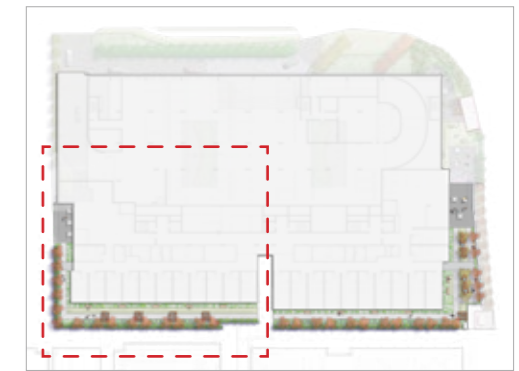
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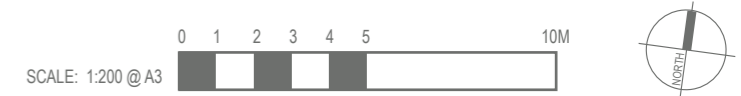
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LANDSCAPE PLAN | LOWER GROUND FLOOR  
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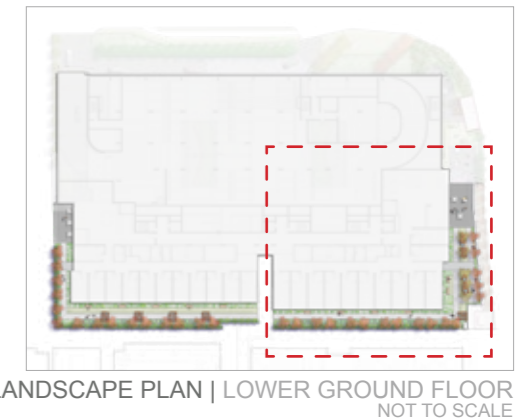
**PLANTING PLAN 01 | LOWER GROUND FLOOR**

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ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP201
ISSUE	B
DATE	24.10.2019

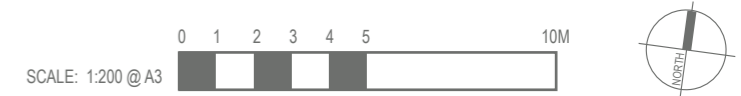


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**PLANTING PLAN 02 | LOWER GROUND FLOOR**

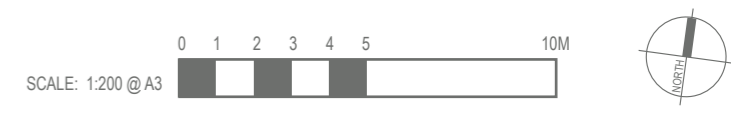
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ISSUE	B
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LANDSCAPE PLAN | GROUND FLOOR  
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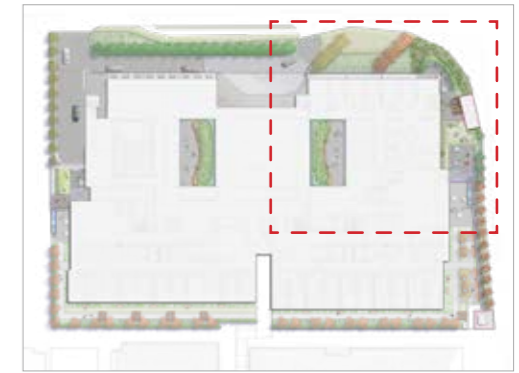
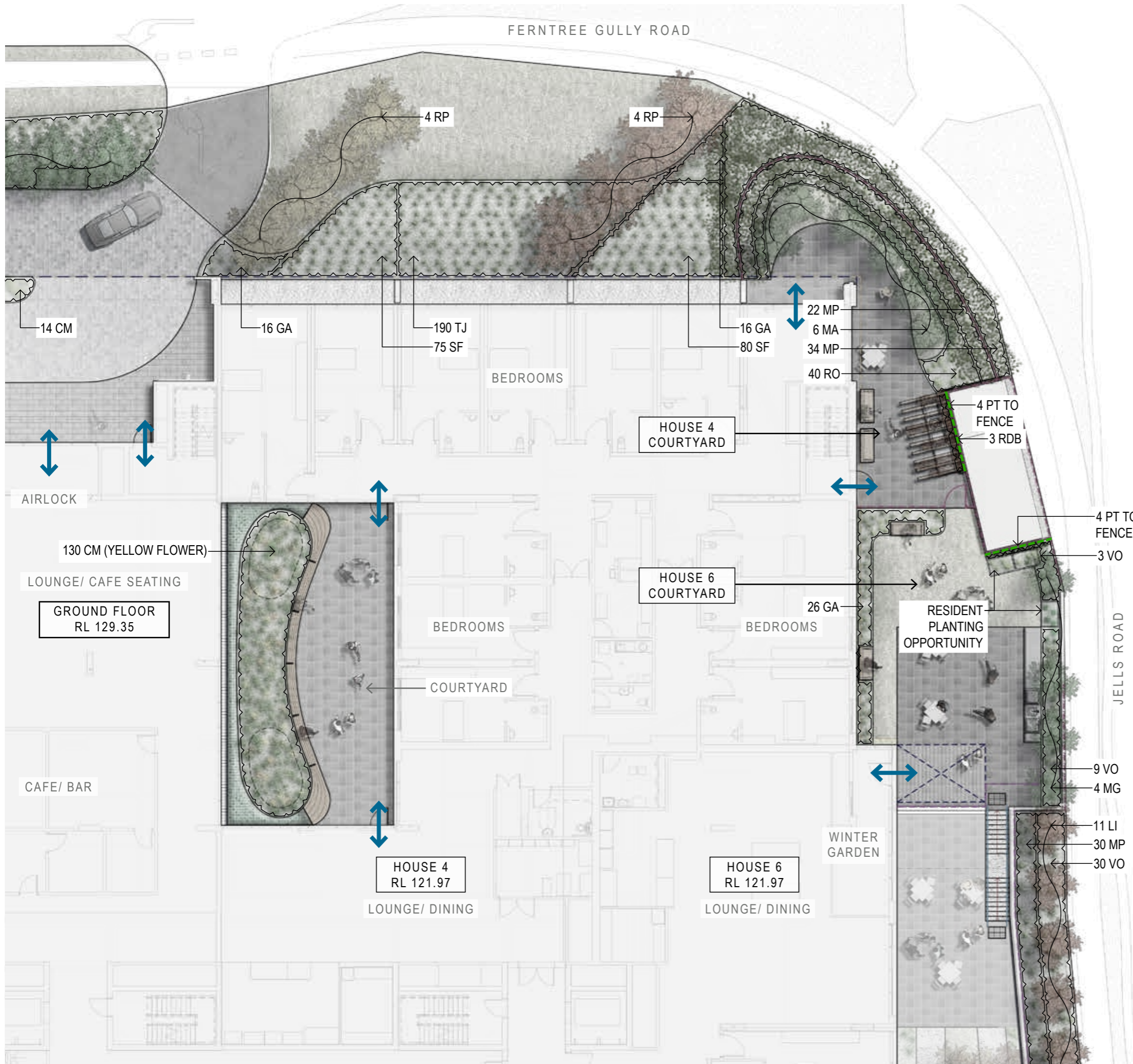
**PLANTING PLAN 03 | GROUND FLOOR**

CLIENT	LIFEVUE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP203
ISSUE	B
DATE	24.10.2019



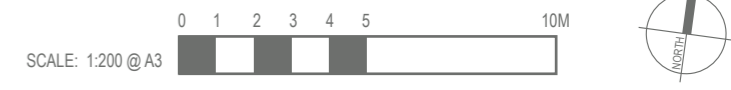
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LANDSCAPE PLAN | GROUND FLOOR  
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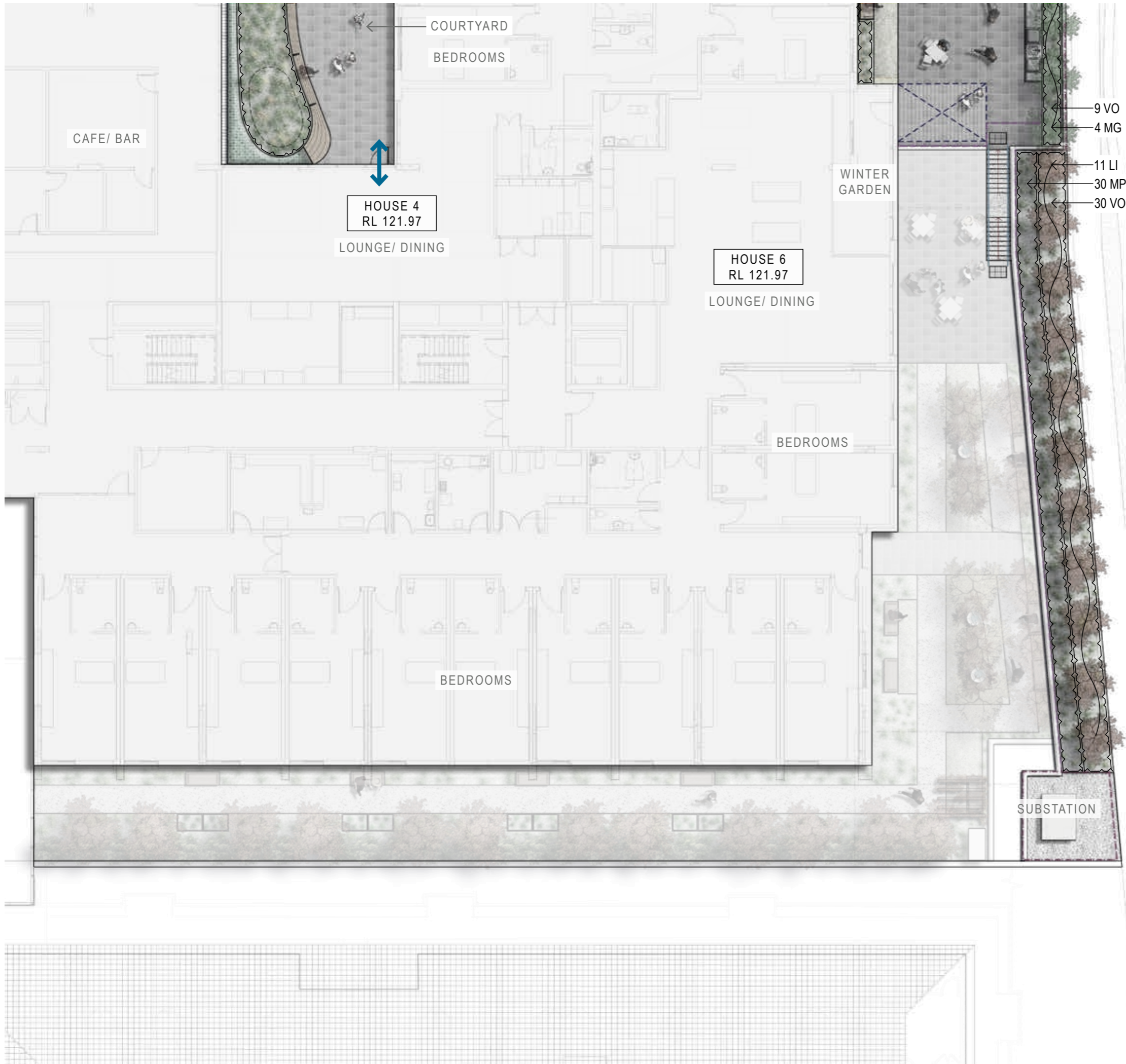


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 161-169 & 171-175 JELLS ROAD, WHEELERS HILL

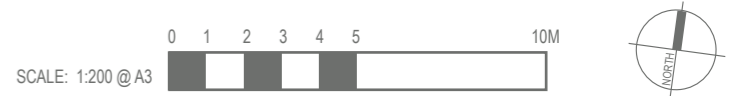
**PLANTING PLAN 04 | GROUND FLOOR**

CLIENT	LIFEVUE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP204
ISSUE	B
DATE	24.10.2019





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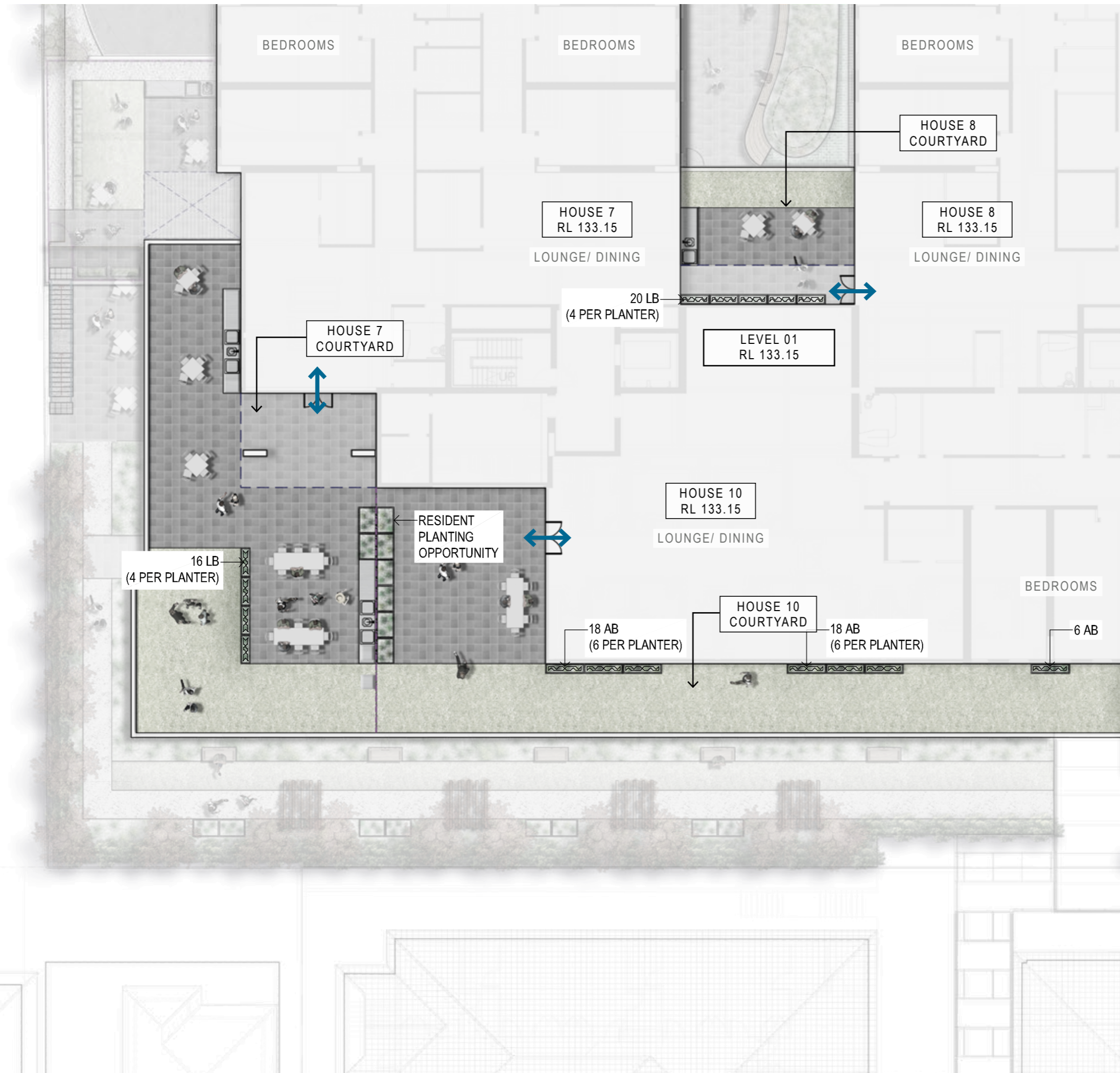
**THE WILLOWS WHEELERS HILL,**  
 161-169 & 171-175 JELLS ROAD, WHEELERS HILL

**PLANTING PLAN 05 | GROUND FLOOR**

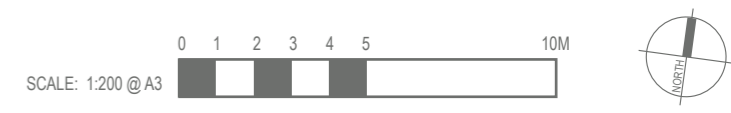
CLIENT	LIFEVUE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP205
ISSUE	B
DATE	24.10.2019



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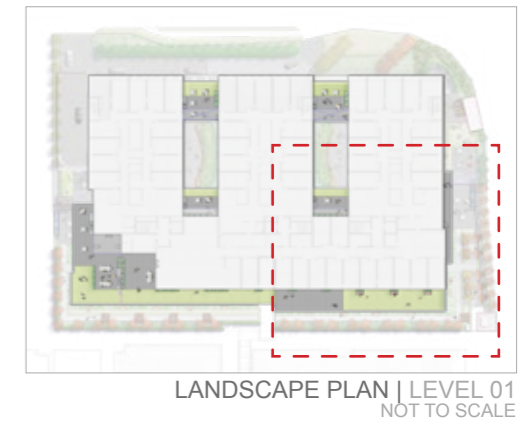
**PLANTING PLAN 06 | LEVEL 01**

CLIENT	LIFEVUE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP206
ISSUE	A
DATE	23.08.2019

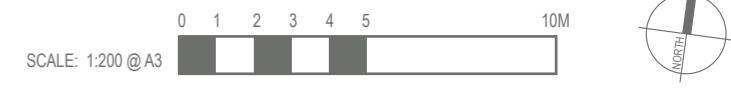


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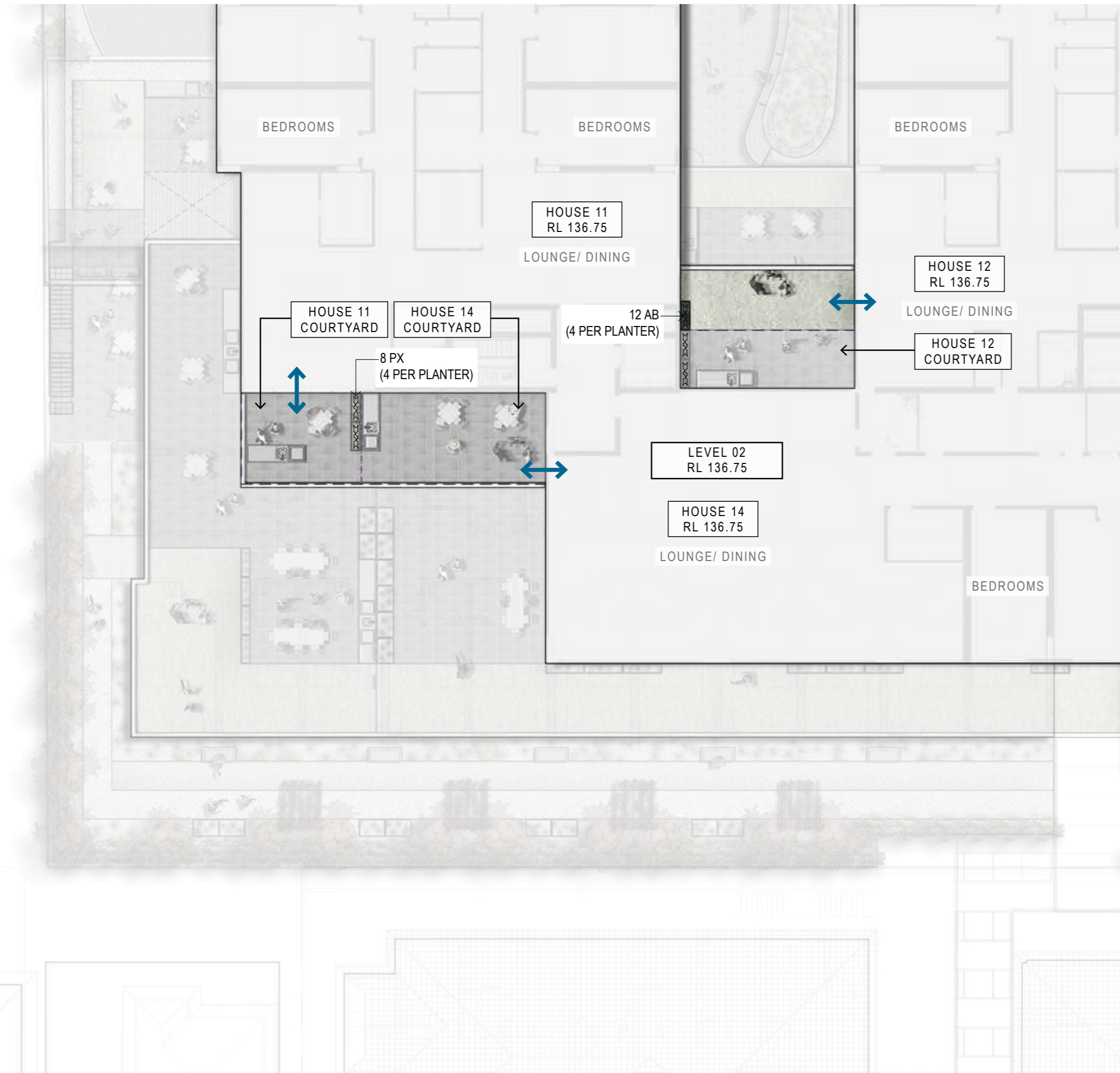
**THE WILLOWS WHEELERS HILL,**  
 161-169 & 171-175 JELLS ROAD, WHEELERS HILL

**PLANTING PLAN 07 | LEVEL 01**

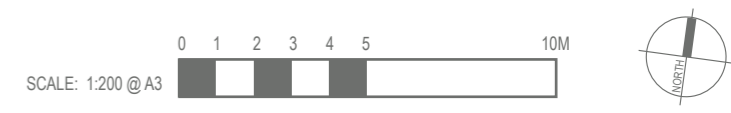
CLIENT	LIFEVUE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP207
ISSUE	A
DATE	23.08.2019







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**PLANTING PLAN 08 | LEVEL 02**

CLIENT	LIFEVUE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP208
ISSUE	A
DATE	23.08.2019



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LANDSCAPE PLAN | LEVEL 02  
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**PLANTING PLAN 09 | LEVEL 02**

CLIENT	LIFEVUE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP209
ISSUE	A
DATE	23.08.2019

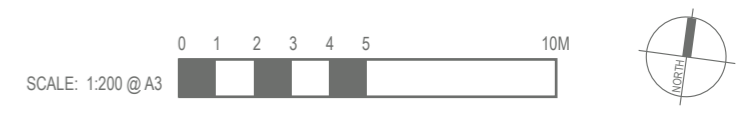


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**PLANTING PLAN 10 | LEVEL 03**

CLIENT	LIFEVUE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP210
ISSUE	A
DATE	23.08.2019



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LANDSCAPE PLAN | LEVEL 03  
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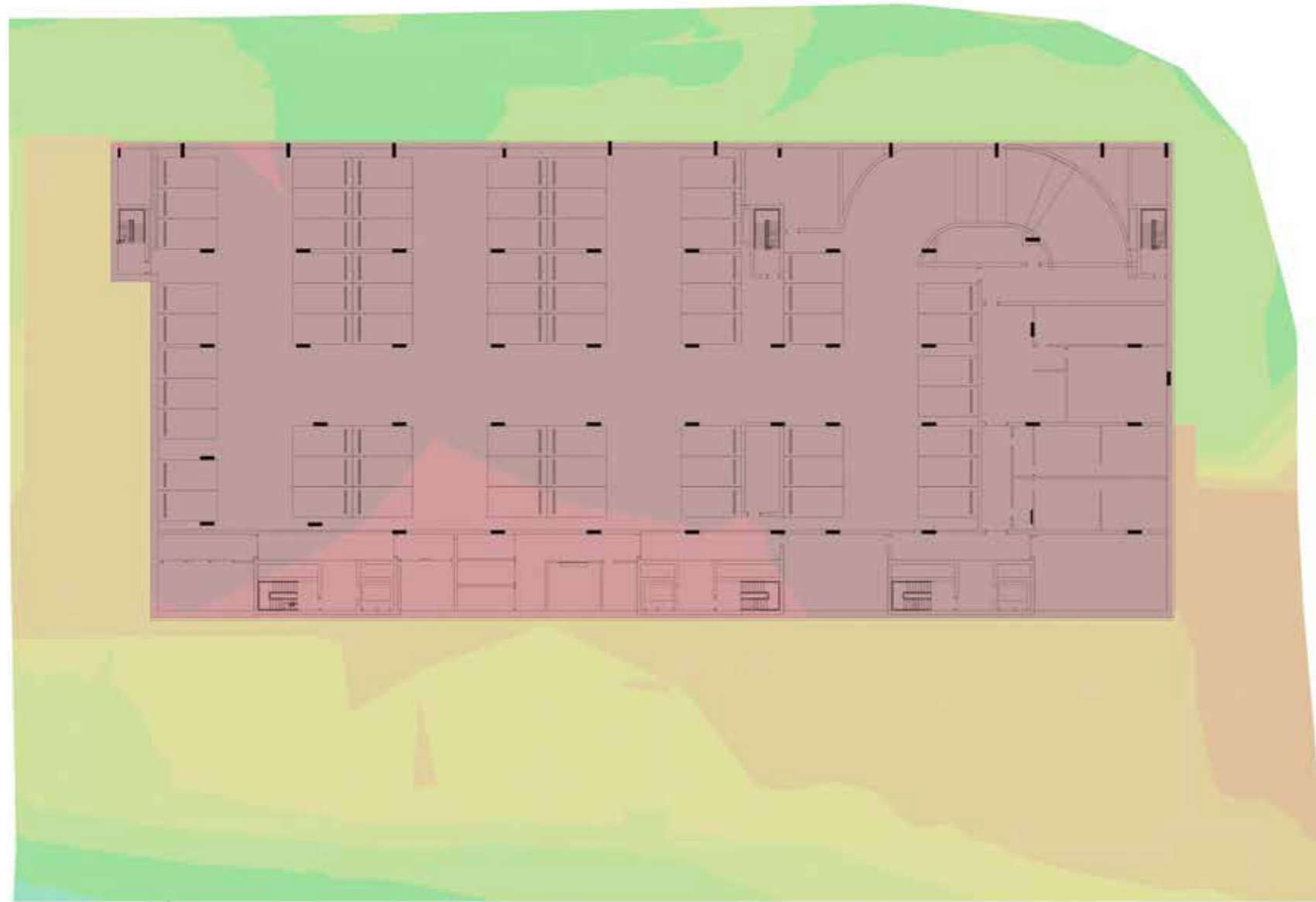
**PLANTING PLAN 11 | LEVEL 03**

CLIENT	LIFECARE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP211
ISSUE	A
DATE	23.08.2019



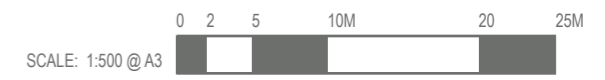
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**LEGEND**

COLOUR	FROM LEVEL (M)	TO LEVEL (M)
	-8	-7
	-7	-6
	-6	-5
	-5	-4
	-4	-3
	-3	-2
	-2	-1
	-1	0
	0	+1
	+1	+2



**THE WILLOWS WHEELERS HILL,**  
161-169 & 171-175 JELLS ROAD, WHEELERS HILL

**CUT & FILL PLAN**

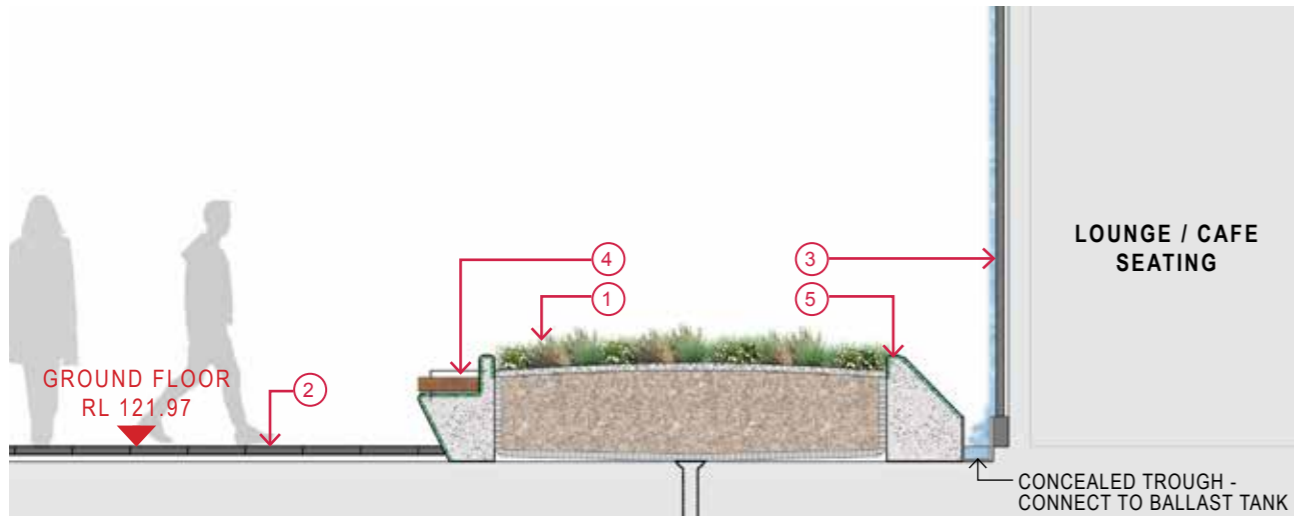
CLIENT	LIFEVUE RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP301
ISSUE	A
DATE	23.08.2019



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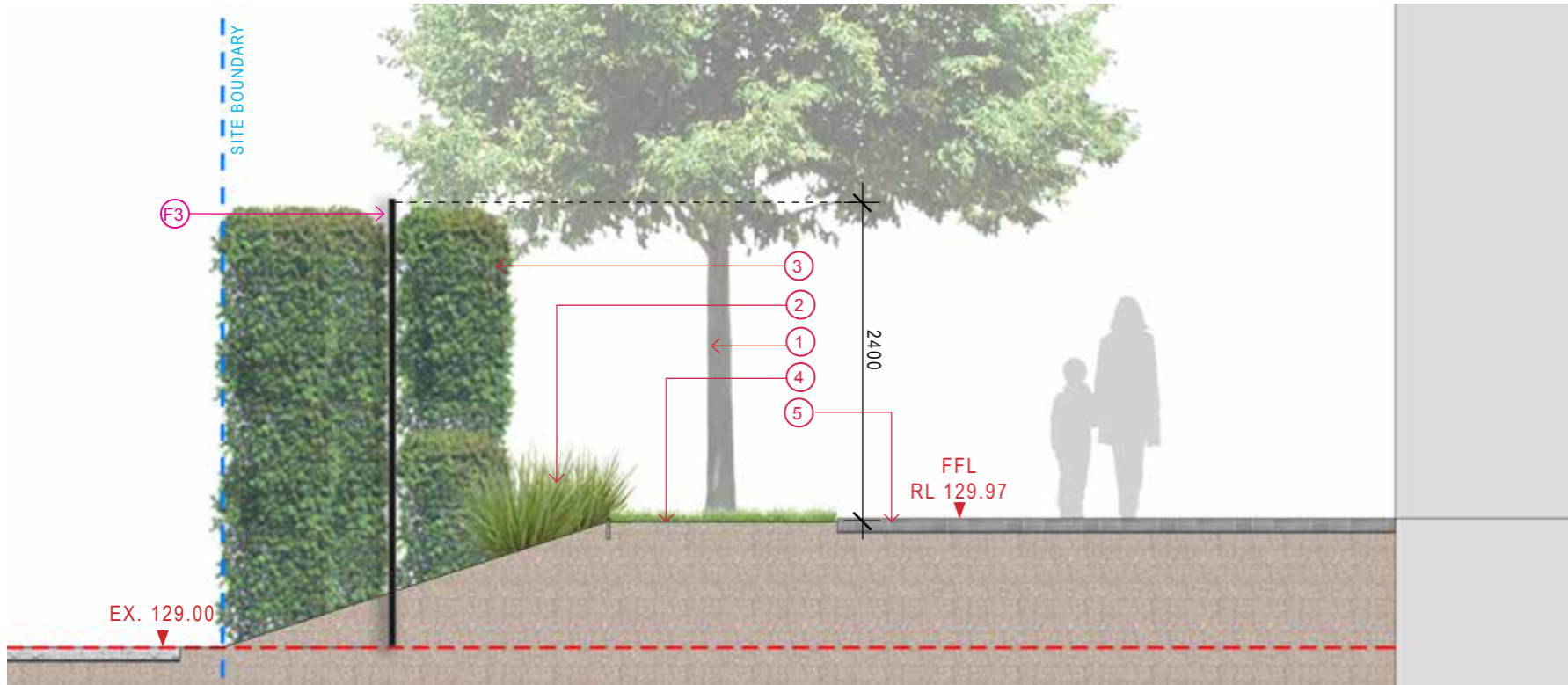
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LEGEND

- ① SEASONAL MASS PLANTING
- ② PAVING - TYPE 03 UNIT PAVEMENT
- ③ WATERWALL
- ④ CUSTOM BENCH SEAT WITH BACK 450 HT. WITH STAINLESS STEEL HANDRAILS AT 3.0M CENTRES
- ⑤ MOSAIC PLANTER WALL 600 HT.

SECTION 01 | 1:50 @ A3



LEGEND

- ① EVERGREEN TREE
- ② MASS PLANTING
- ③ SCREEN PLANTING
- ④ TURF
- ⑤ PAVING - TYPE 03 UNIT PAVEMENT

SECTION 02 | 1:50 @ A3



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**THE WILLOWS WHEELERS HILL,**  
 161-169 & 171-175 JELLS ROAD, WHEELERS HILL

**SECTIONS / ELEVATIONS 01**

CLIENT	LIFETIME RESIDENTIAL CARE
ARCHITECT	CHT ARCHITECTS
SITE IMAGE JOB NUMBER	SM18282
DRAWING NUMBER	TP401
ISSUE	B
DATE	24.10.2019



**SITE IMAGE**  
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# PLANT SCHEDULE

LOWER GROUND FLOOR								
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT X WIDTH (M) AT MATURITY	INSTALLATION SIZE	DENSITY PER/M2	QTY		TOTAL QTY
						HOUSE 1	HOUSE 2	
<b>TREES</b>								
FO	<i>Fraxinus oxycarpa</i> 'Raywoodii'	Claret Ash	12.0 X 7.0	75L	AS SHOWN	15	17	32
RP	<i>Robinia pseudoacacia</i> 'Frisia'	Golden Robinia	9.0 X 6.0	75L	AS SHOWN	-	5	5
<b>SCREEN PLANTING</b>								
VO	<i>Viburnum odoratissimum</i>	Sweet Viburnum	2.5 X 2.0	200MM	@ 1.0M CENTRES	65	50	115
<b>MASS PLANTING</b>								
AC	<i>Arthropodium cirratum</i>	New Zealand Rock Lily	1.0 X 1.0	150MM	3 / M <sup>2</sup>	135	93	228
GA	<i>Gardenia augusta</i> 'Florida'	Gardenia	2.0 X 1.5	200MM	@ 0.5M CENTRES	105	152	257
SF	<i>Scaevola</i> 'Fan Magic Spellbinder'	Fan Flower	0.3 X 2.0	150MM	4 / M <sup>2</sup>	135	65	200
<b>CLIMBERS / GROUND COVER</b>								
PT	<i>Parthenocissus tricuspidata</i>	Boston Ivy	CLIMBER	200MM	@ 1.0M CENTRES	-	30	30
RDB	<i>Rosa</i> 'Dublin Bay'	Climbing Rose	CLIMBER	200MM	AS SHOWN	6	-	6
RPB	<i>Rosa</i> 'Phyllis Bide'	Rambling Rose	CLIMBER	200MM	AS SHOWN	6	3	9

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GROUND FLOOR													
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT X WIDTH (M) AT MATURITY	INSTALLATION SIZE	DENSITY PER/M2	QTY						TOTAL QTY	
						F. GULLY ROAD	JELLS ROAD	WESTERN CTYD	EASTERN CTYD	HOUSE 4	HOUSE 5		HOUSE 6
<b>TREES</b>													
BN	<i>Betula nigra</i>	Tropical Birch	10.0 X 4.0	75L	AS SHOWN	10	-	-	-	-	-	-	10
LI	<i>Lagerstroemia indica</i>	Crepe Myrtle	8.0 X 4.0	75L	AS SHOWN	-	11	-	-	-	-	-	11
MG	<i>Magnolia grandiflora</i> 'Exmouth'	Bull Bay Magnolia	12.0 X 5.0	75L	AS SHOWN	-	-	-	-	-	-	4	4
MA	<i>Melia azedarach</i>	White Cedar	10.0 X 8.0	75L	AS SHOWN	-	-	-	-	6	-	-	6
PC	<i>Pyrus calleryana</i>	Ornamental Pear	10.0 X 3.0	75L	AS SHOWN	17	-	-	-	-	-	-	17
RP	<i>Robinia pseudoacacia</i> 'Frisia'	Golden Robinia	9.0 X 6.0	75L	AS SHOWN	8	-	-	-	-	-	-	8
<b>SCREEN PLANTING</b>													
MP	<i>Murraya paniculata</i>	Orange Jessamine	3.0 X 2.0	200MM	@ 1.0M CENTRES	-	30	-	-	56	-	-	86
VO	<i>Viburnum odoratissimum</i>	Sweet Viburnum	2.5 X 2.0	200MM	@ 1.0M CENTRES	-	30	-	-	-	-	12	42
<b>MASS PLANTING</b>													
AB	<i>Aloe barbadensis</i>	Aloe Vera	0.3 X 1.0	150MM	@ 0.3M CENTRES	36	-	-	-	-	24	-	60
AC	<i>Arthropodium cirratum</i>	New Zealand Rock Lily	1.0 X 1.0	150MM	3 / M <sup>2</sup>	114	-	-	-	-	-	-	114
CM	<i>Clivia miniata</i>	Kaffir Lily	0.5 X 0.5	150MM	3 / M <sup>2</sup>	14	-	130	130	-	-	-	274
GA	<i>Gardenia augusta</i> 'Florida'	Gardenia	2.0 X 1.5	200MM	@ 0.5M CENTRES	572	-	-	-	-	-	26	598
RO	<i>Rosmarinus officinalis</i> 'Prostratus'	Rosemary	0.5 X 3.0	150MM	3 / M <sup>2</sup>	125	-	-	-	40	-	-	165
SF	<i>Scaevola</i> 'Fan Magic Spellbinder'	Fan Flower	0.3 X 2.0	150MM	4 / M <sup>2</sup>	155	-	-	-	-	-	-	155
<b>CLIMBERS / GROUND COVER</b>													
PT	<i>Parthenocissus tricuspidata</i>	Boston Ivy	CLIMBER	200MM	@ 1.0M CENTRES	-	-	-	-	8	-	-	8
RDB	<i>Rosa</i> 'Dublin Bay'	Climbing Rose	CLIMBER	200MM	AS SHOWN	-	-	-	-	3	-	-	3
TJ	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.5 X 3.0	200MM	@ 0.5M CENTRES	190	-	-	-	-	-	-	190

LEVEL 1										
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT X WIDTH (M) AT MATURITY	INSTALLATION SIZE	DENSITY PER/M2	QTY				TOTAL QTY
						HOUSE 7	HOUSE 8	HOUSE 9	HOUSE 10	
<b>MASS PLANTING</b>										
AB	<i>Aloe barbadensis</i>	Aloe Vera	0.3 X 1.0	150MM	@ 0.3M CENTRES	-	-	-	72	72
AC	<i>Arthropodium cirratum</i>	New Zealand Rock Lily	1.0 X 1.0	150MM	@ 0.3M CENTRES	-	-	20	-	20
LB	<i>Limonium perezii</i>	Sea Lavender	0.6 X 0.4	150MM	@ 0.3M CENTRES	16	20	-	-	36

LEVEL 2										
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT X WIDTH (M) AT MATURITY	INSTALLATION SIZE	DENSITY PER/M2	QTY				TOTAL QTY
						HOUSE 11	HOUSE 12	HOUSE 13	HOUSE 14	
<b>MASS PLANTING</b>										
AB	<i>Aloe barbadensis</i>	Aloe Vera	0.3 X 1.0	150MM	@ 0.3M CENTRES	-	12	12	-	24
PX	<i>Philodendron</i> 'Xanadu'	Xanadu	1.0 X 1.0	150MM	@ 0.3M CENTRES	8	-	12	-	20

LEVEL 3									
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT X WIDTH (M) AT MATURITY	INSTALLATION SIZE	DENSITY PER/M2	QTY			TOTAL QTY
						HOUSE 15	HOUSE 16	HOUSE 17	
<b>MASS PLANTING</b>									
AB	<i>Aloe barbadensis</i>	Aloe Vera	0.3 X 1.0	150MM	@ 0.3M CENTRES	20	40	20	80

TREE PLANTING



*Betula nigra*  
TROPICAL BIRCH



*Fraxinus oxycarpa 'Raywoodii'*  
CLARET ASH



*Lagerstroemia indica*  
CREPE MYRTLE



*Magnolia grandiflora 'Exmouth'*  
BULL BAY MAGNOLIA



*Melia azedarach*  
WHITE CEDAR



*Pyrus calleryana*  
ORNAMENTAL PEAR



*Robinia pseudoacacia 'Frisia'*  
GOLDEN ROBINIA

MASS PLANTING



*Aloe barbadensis*  
ALOE VERA



*Arthropodium cirratum*  
NEW ZEALAND ROCK LILY



*Clivia miniata*  
KAFFIR LILY



*Gardenia augusta 'Florida'*  
GARDENIA



*Limonium perezii*  
SEA LAVENDER



*Philodendron 'Xanadu'*  
XANADU



*Rosmarinus officinalis 'Prostratus'*  
ROSEMARY



*Scaevola 'Fan Magic Spellbinder'*  
FAN FLOWER

SCREEN PLANTING



*Murraya paniculata*  
ORANGE JESSAMINE



*Viburnum odoratissimum*  
SWEET VIBURNUM

CLIMBERS / GROUNDCOVER



*Ficus pumila*  
CLIMBING FIG



*Parthenocissus tricuspidata*  
BOSTON IVY



*Rosa 'Dublin Bay'*  
CLIMBING ROSE



*Rosa 'Phyllis Bide'*  
RAMBLING ROSE



*Trachelospermum jasminoides*  
STAR JASMINE

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**SURFACE FINISHES**



NATURAL TURF



ARTIFICIAL TURF



PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE



PAVING - TYPE 02  
SEGMENTAL LARGE FORMAT  
PAVEMENT



PAVING - TYPE 03  
UNIT PAVEMENT



PAVING - TYPE 04  
COBBLESTONE PAVEMENT

**FURNITURE & FIXTURES**



FIXED BENCH SEAT



BIRD BATH



GREEN FENCE  
TO GAS AND WATER METER



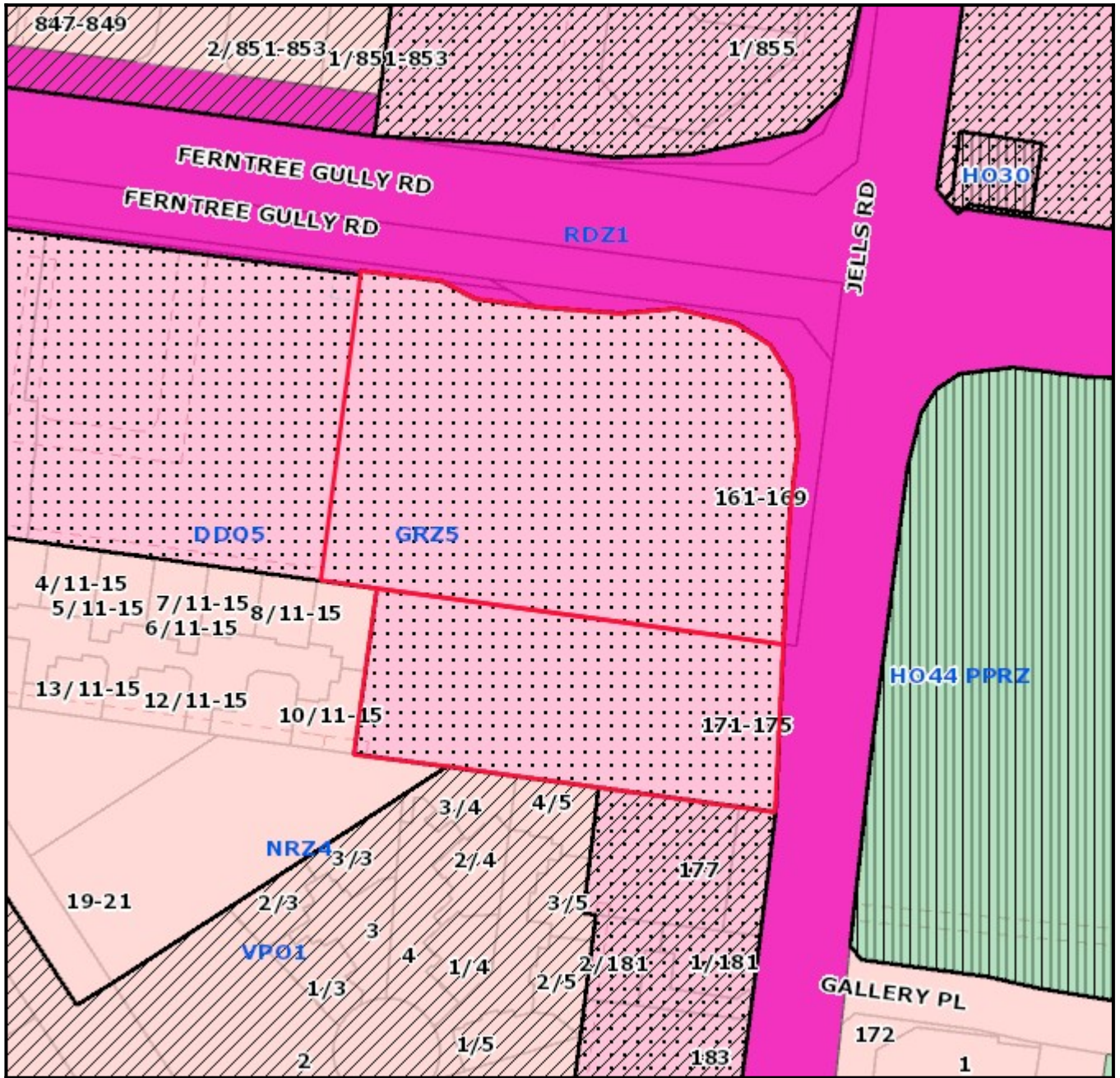
RAISED PLANTER - TYPE 02  
QUATRO: TROUGH LONG  
RECTANGULAR

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# Planning Overlays and Zones



**Legend**

**Planning Zones**


**Planning Overlays**




1:1500

**Address**

161-167 Jells Road WHEELERS HILL VIC 3150

**PLANNING**

Permit No.:

**TPA/47296/A**

**PERMIT**

Planning Scheme:

**Monash Planning Scheme**

Responsible Authority:

***Monash City Council***

**ADDRESS OF THE LAND**

161-171 Jells Road WHEELERS HILL VIC 3150

**THE PERMIT ALLOWS**

Development of a Residential Aged Care Facility on land affected by the Design and Development Overlay-Schedule 5, including refurbishment of the existing aged care facility (Lifeview The Willows) and alteration of access to a road in a Road Zone Category 1.

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT**

1. Before the development starts, three copies of amended plans drawn to scale and dimensioned, must be submitted to and approved by the Responsible Authority. When approved the plans will be endorsed and will then form part of the permit.

The plans must be generally in accordance with the plans submitted with the application, but modified to show:

- a) On land at 161-169 Jells Road, between 3 and 12 metres from the southern boundary to 171 Jells Road, development must not exceed a height of 7 metres above natural surface level (excluding parapets and roof forms that enhances the articulation of the built form and improves the appearance of the building). This must be clearly dimensioned on elevation/section plans.
- b) On land at 161-169 Jells Road, between 12 and 18 metres from the southern boundary to 171 Jells Road, development must not exceed a height of 10.5 metres above natural ground level (excluding parapets and roof forms that enhances the articulation of the built form and improves the appearance of the building). This must be clearly dimensioned on elevation/section plans.
- c) On land at 161-169 Jells Road development must not exceed 14 metres above natural surface level. This must be clearly dimensioned on the elevation/section plans.

## IMPORTANT INFORMATION ABOUT THIS NOTICE

### WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

### CAN THE RESPONSIBLE AUTHORITY AMEND THIS PERMIT?

The Responsible Authority may amend this permit under Division 1A of Part 4 of the **Planning and Environment Act 1987**.

### WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
  - (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

### WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if-
  - the development or any stage of it does not start within the time specified in the permit, or
  - the development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act 1988* and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the *Subdivision Act 1988*.
2. A permit for the use of land expires if-
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if-
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision -
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

### WHAT ABOUT REVIEWS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case no right of appeal exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- An application for review must be made on an application for review form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- A copy of an application for review must also be served on the responsible authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.


# PLANNING PERMIT

No. TPA/47296/A

- d) The proposed retaining wall along the Jells Road frontage (Ground floor level – TP11) and fencing (First floor – TP12) setback 3 metres from the Jells Road frontage.
- e) Screening to prevent overlooking to all habitable room windows located within 9.0 metres of the boundary adjacent to the western boundary and the southern boundary adjacent to the secluded open space of 9/11-15 The Deviation.
- f) The retention of the existing bus shelter at the Ferntree Gully Road frontage of the site.
- g) Access to the site is to be redesigned to the satisfaction of Council and VicRoads as follows
  - All vehicles are to enter the site via the western driveway located on the Ferntree Gully Road frontage.
  - The vehicle direction along the porte cochere access way is to be reversed so that vehicles head east and the proposed eastern entry point must be converted to 'exit only'. The exit point is to be reconfigured to enable vehicles to exit generally perpendicular to the left turn deceleration lane. The exit point is to be designed as a vehicle crossing and is to be reduced in width to 3.5 metres, or as agreed by Council.
- h) Deletion of proposed signage.
- i) The western façade and the southern façade of the new building (at the south west corner of the site) amended to provide a softer interface to adjoining residential properties to the south west. Vertical and horizontal fragmentation by use of varied materiality and architectural features is encouraged.
- j) Details of all mechanical ventilation (including heating and cooling units) located outside the building or on the rooftop with appropriate screening incorporated into the architectural design of the building. Heating and cooling units must not be located on the balconies, facade of the building or visible from outside the property.
- k) The location of all services and any required electricity substations, fire services, gas and water meters. The required services must be suitably painted, screened and landscaped to the satisfaction of the Responsible Authority to minimise their visual prominence.
- l) A corner splay or area at least 50% clear of visual obstruction (or with a height of less than 1.2m) extending at least 2.0 metre long x 2.5 metres deep (within the property) from the edge of the exit lane of the western vehicle crossing and both sides of the eastern vehicle crossing to provide a clear view of pedestrians on the footpath of the frontage road.
- m) Compliance with VicRoads conditions (refer to Vic Roads conditions of this permit)

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Responsible Authority: 

# PLANNING PERMIT

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- n) Compliance with Public Transport Victoria (PTV) Conditions (refer to PTV conditions of this permit)

All to the satisfaction of Responsible Authority.

- 2. The development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.
- 3. Once the development has started the approved development must be continued and completed to the satisfaction of the Responsible Authority.
- 4. The amenity of the area must not be detrimentally affected by the use or development, through the:
  - a) transport of materials, goods or commodities to or from the land;
  - b) appearance of any building, works or materials;
  - c) emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil;
  - d) presence of vermin;
  - e) movement of commercial vehicles within the site.
- 5. The occupier of the premises must ensure that any noise emanating from the premises, during and post construction, must not exceed the standards of the State Environment Protection Policies No. N1 or any other applicable noise regulations.

If requested by the Responsible Authority noise testing must be undertaken to demonstrate compliance with EPA noise requirements. Noise testing is to be undertaken at no cost to the Responsible Authority.

- 6. Air-conditioning and other plant and equipment installed on or within the buildings must be so positioned and baffled that any noise emitted complies with the appropriate Australian Standards and EPA requirements.
- 7. Prior to the commencement of works on the site, the owner shall prepare a Waste Management Plan for the collection and disposal of garbage and recyclables for all uses on the site by private contractor. The Waste Management Plan shall provide for:
  - a) The method of collection of garbage and recyclables for both the aged care and retirement living uses;
  - b) Designation of methods of collection including the need to provide for private services;
  - c) Appropriate areas of bin storage on site and areas for bin storage on collection days;
  - d) Measures to minimise the impact upon local amenity and on the operation, management and maintenance of car parking areas;
  - e) Ongoing onsite litter management.

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**No. TPA/47296/A**

A copy of this plan must be submitted to and approved by Council. Once approved the plan will be endorsed to form part of this permit.

8. Waste storage rooms must be constructed so to prevent the entrance of vermin and must be able to be easily cleaned. The floor must be graded to a sewer connection located within the waste storage room.
9. No goods must be stored or left exposed outside the building so as to be visible from any public road or thoroughfare.
10. No bin or receptacle or any form of rubbish or refuse shall be allowed to remain in view of the public and no odour shall be emitted from any receptacle so as to cause offence to persons outside the land.
11. Adequate provision shall be made for the storage and collection of garbage and other solid wastes and these facilities are to be located on the site to the satisfaction of the Responsible Authority.
12. Parking areas shall be specifically signed for their intended use, to the satisfaction of the Responsible Authority.
13. Before the development permitted is completed and the premises is occupied, areas set aside for parked vehicles and access lanes as shown on the endorsed plans must be:
  - a) constructed to the satisfaction of the Responsible Authority;
  - b) properly formed to such levels that they can be used in accordance with the plans;
  - c) surfaced with an all-weather sealcoat to the satisfaction of the Responsible Authority;
  - d) drained, maintained and not used for any other purpose to the satisfaction of the Responsible Authority;
  - e) line-marked to indicate each car space and all access lanes to the satisfaction of the Responsible Authority.

Parking areas and access lanes must be kept available for these purposes at all times.

14. The accessible parking spaces should be designed in accordance with the Australian Standard for Off-Street Parking for people with disabilities, AS/NZS 2890.6. The vehicle path to and from each accessible space shall have a minimum headroom of 2200mm. The headroom above each dedicated space and adjacent shared area shall be a minimum of 2500mm.
15. Bicycle parking facilities shall generally follow the design and signage requirements set out in Clause 52.34 of the Monash Planning Scheme.
16. On site visitor parking spaces are required to be clearly marked.
17. The layout of the development shall generally follow the Design Standards for car parking set out in Clause 52.06-8 of the Monash Planning Scheme as detailed below:

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**Date issued:**  
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Responsible Authority:** 



# PLANNING PERMIT

No. TPA/47296/A

- a) Access ways to provide at least 2.1m headroom beneath overhead obstructions;
- b) Ramp grades to be designed with a minimum of 2.0 metre grade transitions between different sections of ramp or floor changes in grade in excess of 12.5% (summit grade change) or 15% (sag grade change);
- c) Minimum requirements for parking space dimensions to be in accordance with Table 2;
- d) Clearance to car parking spaces to be in accordance with Diagram 1 in relation to the placement of a wall, fence, column, tree, tree guard or any other structure that abuts a car space.

## VIC ROADS CONDITIONS

18. Prior to the commencement of the permitted development, a functional layout drawing and functional stage Road Safety Audit must be submitted to and approved by VicRoads. The functional layout plans are to include the following:  
The provision of the left turn deceleration lane on Ferntree Gully Road.
19. Before the use of the permitted development, all works required by VicRoads under this permit must be completed to the satisfaction of and at no cost to VicRoads.
20. No work must be commenced in, on, under or over the road reserve without having first obtaining all necessary approval under the Road Management Act 2004, the Road Safety Act 1986, and any other relevant acts or regulations created under those Acts.

## PUBLIC TRANSPORT VICTORIA

21. The existing bus stop and associated infrastructure on Ferntree Gully Road must not be altered without the prior consent of Public Transport Victoria. Any alterations including temporary works or damage during works must be rectified to the satisfaction of Public Transport Victoria and at the cost of the permit holder.
22. The permit holder must take all reasonable steps to ensure that disruption to bus operations along Ferntree Gully Road is kept to a minimum during the construction of the development. Foreseen disruptions to bus operations and mitigations measures must be communicated to Public Transport Victoria fourteen days (14) prior.
23. If a temporary stop in an alternative location is required during construction, the temporary bus stop must be provided in consultation with, and to the satisfaction of Public Transport Victoria. Once the new stop is deemed suitable for operation, the temporary stop must be removed in consultation with Public Transport Victoria.
24. The preparation of the detailed engineering design and the construction and completion of all work must be undertaken in a manner consistent with current VicRoads' policy,

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Responsible Authority: *De Maree Roberts*

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procedures and standards and at no cost to VicRoads. In order to meet VicRoads' requirements for these tasks the applicant will be required to comply with the requirements documented as "Standard Requirements - Developer Funded Projects" and any other requirements considered necessary depending on the nature of the work.

25. Outdoor lighting must be designed, baffled and located to the satisfaction of the Responsible Authority to prevent any adverse effect on adjoining land.
26. The loading and unloading of goods from vehicles must only be carried out on the land.
27. Before the development starts, a site drainage and stormwater plan drawn to scale and dimensioned must be approved by the Responsible Authority.


The plans must show a drainage scheme providing for the *collection of* stormwater within the site and for the conveying of the stormwater to the nominated point of discharge.

The nominated point of discharge is the south-west corner of the property where the entire sites stormwater must be collected and free drained via a pipe to the private pit in the rear easement via a 150 mm pipe to Council Standards. (A new pit is to be constructed to Council Standards if a pit does not exist, is in poor condition or is not a Council standard pit). If the point of connection cannot be located then notify Council's Engineering Department immediately.

28. Stormwater discharge is to be detained on-site to the predevelopment level of peak stormwater discharge. Approval of any detention system is required from Council prior to works commencing.
29. The private drainage line located along the southern easement of 820-830 Ferntree Gully Road is to be CCTV and confirmed to be in good working condition prior to connection.
30. Any connection into a Council easement pit requires the approval of Council's Engineering Division prior to the works commencing. Please refer to the notes section of this permit for additional details. A refundable security deposit of \$500 is to be paid prior to the drainage works commencing.
31. All on-site stormwater is to be collected from hard surface areas and must not be allowed to flow uncontrolled into adjoining properties. The on-site drainage system must prevent discharge from all driveways onto the footpath. Such a system may include either:
  - a. a trench grate (150 mm minimum internal width) located within the property; and/or
  - b. shaping the driveway so that water is collected in a grated pit on the property; and/or
  - c. another Council approved equivalent.

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32. Before the development starts, a Construction Management Plan must be prepared and submitted to the Responsible Authority for approval. The plan must be to the satisfaction of the Responsible Authority. Once approved, the plan must be implemented to the satisfaction of the Responsible Authority. The plan must address the following issues:
- a) measures to control noise, dust and water runoff from the site;
  - b) prevention of silt or other pollutants from entering into the Council's underground drainage system or road network;
  - c) the location of where building materials are to be kept during construction;
  - d) site security;
  - e) maintenance of safe movements of vehicles to and from the site during the construction phase;
  - f) on-site parking of vehicles associated with construction of the development;
  - g) wash down areas for trucks and vehicles associated with construction activities;
  - h) cleaning and maintaining of surrounding road surfaces;
  - i) A Traffic Management Plan prepared by a qualified person is required to be submitted as part of the Construction Management Plan. This should detail the route to and from the site for large vehicles, proposed warning signs and traffic control;
  - j) a requirement that construction works must only be carried out during the following hours:
    - Monday to Friday (inclusive) – 7.00am to 6.00pm;
    - Saturday – 9.00am to 1.00pm;
    - Saturday – 1.00pm to 5.00pm (Only activities associated with the erection of buildings. This does not include excavation or the use of heavy machinery.)
33. No equipment, services, architectural features or structures of any kind, including telecommunication facilities, other than those shown on the endorsed plans shall be permitted above the roof level of the building unless otherwise agreed to in writing by the Responsible Authority.
34. A landscape plan prepared by a Landscape Architect, drawn to scale and dimensioned must be submitted to and approved by the Responsible Authority prior to the commencement of any works. The plan must show the proposed landscape treatment of the site including:-
- the location of all existing trees and other vegetation to be retained on site;
  - provision of canopy trees with spreading crowns located throughout the site including the major open space areas of the development;
  - planting to soften the appearance of hard surface areas such as driveways and other paved areas;

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Responsible Authority:



# PLANNING PERMIT

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- a schedule of all proposed trees, shrubs and ground cover, which will include the size of all plants (at planting and at maturity), their location, botanical names and the location of all areas to be covered by grass, lawn, mulch or other surface material;
- the location and details of all fencing;
- the extent of any cut, fill, embankments or retaining walls associated with the landscape treatment of the site;
- details of all proposed hard surface materials including pathways, patio or decked areas;

When approved the landscape plan will be endorsed and will then form part of the permit.

35. Before the occupation of the buildings allowed by this permit, landscaping works as shown on the endorsed plans must be completed to the satisfaction of the Responsible Authority and then maintained to the satisfaction of the Responsible Authority.

36. This permit will expire in accordance with section 68 of the Planning and Environment Act 1987, if one of the following circumstances applies:

- The development is not started before 2 years from the date of issue.
- The development is not completed before 4 years from the date of issue.

In accordance with section 69 of the Planning and Environment Act 1987, the responsible authority may extend the periods referred to if a request is made in writing before the permit expires, or within six months of the permit expiry date, where the development allowed by the permit has not yet started; or within 12 months of the permit expiry date, where the development has lawfully started before the permit expires.

## NOTES-

1. The permit holder must notify PTV a minimum of 8 weeks prior to any bus stop relocation/or temporary relocation works approved under this permit. The permit holder must notify PTV by either call 1800 800 007 or email [customerservice@ptv.vic.gov.au](mailto:customerservice@ptv.vic.gov.au)
2. Building approval must be obtained prior to the commencement of the above approved works.
3. Engineering permits must be obtained altered vehicle crossings and these works are to be inspected by Council (telephone 9518 3555).

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Responsible Authority: 


# PLANNING PERMIT

**No. TPA/47296/A**

4. A drainage contribution will not be accepted in lieu of a detention system. Detention system requirements for this property can be obtained by contacting Council's Engineering Department.
5. Three printed copies of the plans (A3-A1 size) for the drainage works must be submitted to and approved by the Engineering Division prior to the commencement of works. The plans are to show sufficient information to determine that the drainage works will meet all drainage conditions of the permit.
6. An on-site detention system for storm events up to the 1% AEP event to be retained on site for the basement carpark. The detention system for the basement is to be separated from the detention system for the property, which is to be at ground level and discharge by gravity.
7. A licensed Surveyor or Civil Engineer (who is a Registered Building Practitioner) must certify that the stormwater detention system including all levels, pits, pipes and storage volumes is constructed in accordance with the approved plans. The certifier's registration number must be included on the certificate.
8. Premises used for the sale or storage of food in any manner whatsoever are to be registered under the Food Act and require Council approval via the Chief Environmental Health Officer before occupation.
9. Unless no permit is required under the planning scheme, no sign must be constructed or displayed without a further permit.
10. Any new drainage work within the road reserve requires the approval of the Council's Engineering Division prior to the works commencing. A refundable security deposit is required to be paid prior to the drainage works commencing and the amount is to be determined once drainage plans have been submitted.
11. Engineering permits must be obtained for new or altered vehicle crossings and new connections to Council pits and these works are to be inspected by Council (telephone 9518 3555).
12. An on-site detention system for storm events up to the 1% AEP event is to be retained on site for the basement car park. The detention system for the basement is to be separate from the detention system for the site, which is to be at ground level and discharge by gravity.
13. Three printed copies of the plans (A3-A1 size) for the drainage works must be submitted to and approved by the Engineering Division prior to the commencement of works and after Town Planning plans have been endorsed. The plans are to show sufficient information to determine that the drainage works will meet all drainage requirements of this permit.

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**Responsible Authority:** 

# PLANNING PERMIT

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14. Disabled access to the building must be provided to the satisfaction of the Responsible Authority. All work carried out to provide disabled access must be constructed in accordance with Australian Standards Design for Access and Mobility AS 1428.1.

THIS PERMIT HAS BEEN AMENDED AS FOLLOWS:

Date of amendment	Brief Description of Amendment	Name of responsible authority that approved the amendment
16 April 2019	<ul style="list-style-type: none"><li>• Condition 18 deleted</li><li>• Endorsed amended plans</li></ul>	Monash City Council

Date issued:  
11 January 2018

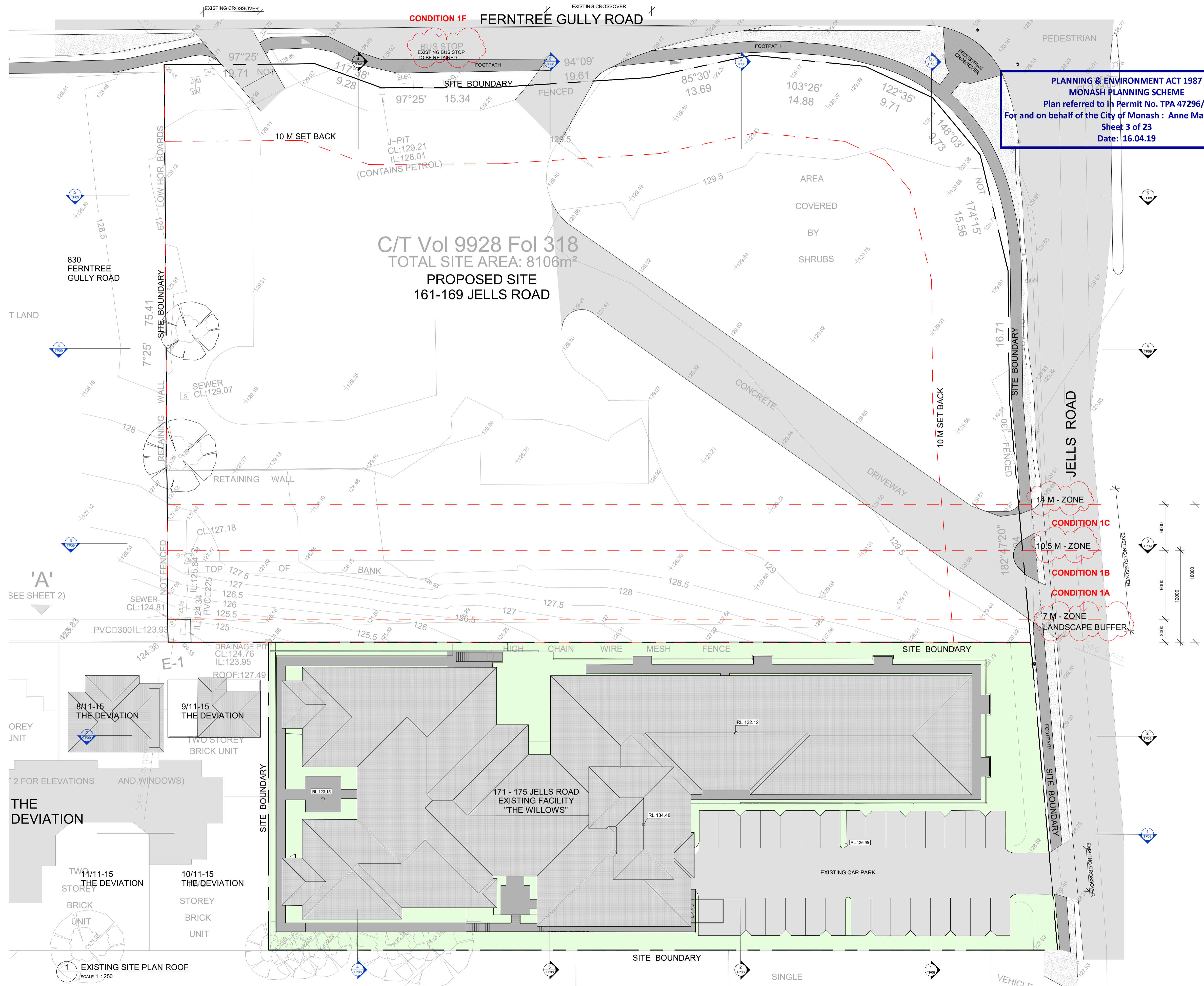
Signature for the  
Responsible Authority: 







PLANNING & ENVIRONMENT ACT 1987  
 MONASH PLANNING SCHEME  
 Plan referred to in Permit No. TPA47296/A  
 For and on behalf of the City of Monash : Anne Maree Roberts  
 Sheet 3 of 23  
 Date: 16.04.19



'A' SEE SHEET 2)

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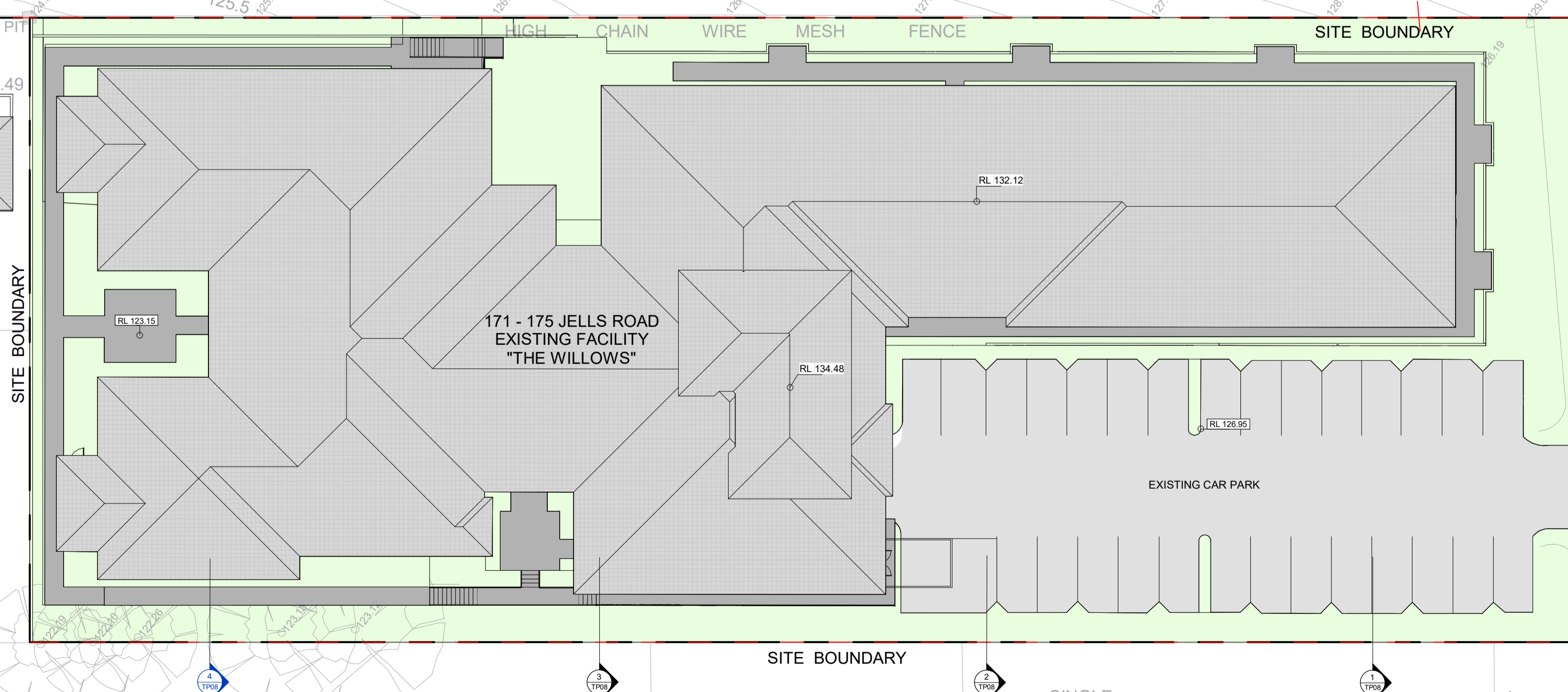
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 THE DEVIATION

TWO STOREY BRICK UNIT

11/11-15 THE DEVIATION

10/11-15 THE DEVIATION

1 EXISTING SITE PLAN ROOF  
 SCALE 1 : 250



Project THE WILLOWS WHEELERS HILL  
 161 - 169 & 171 - 175 JELLS ROAD WHEELERS HILL  
 Client LIFEVIEW RESIDENTIAL CARE

No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE

Title EXISTING - SITE PLAN  
 Sheet PRELIMINARY  
 NOT FOR CONSTRUCTION

Sheet No. TP01.01 B  
 Revision  
 Scale 1 : 250@A1  
 Date 10/07/2018



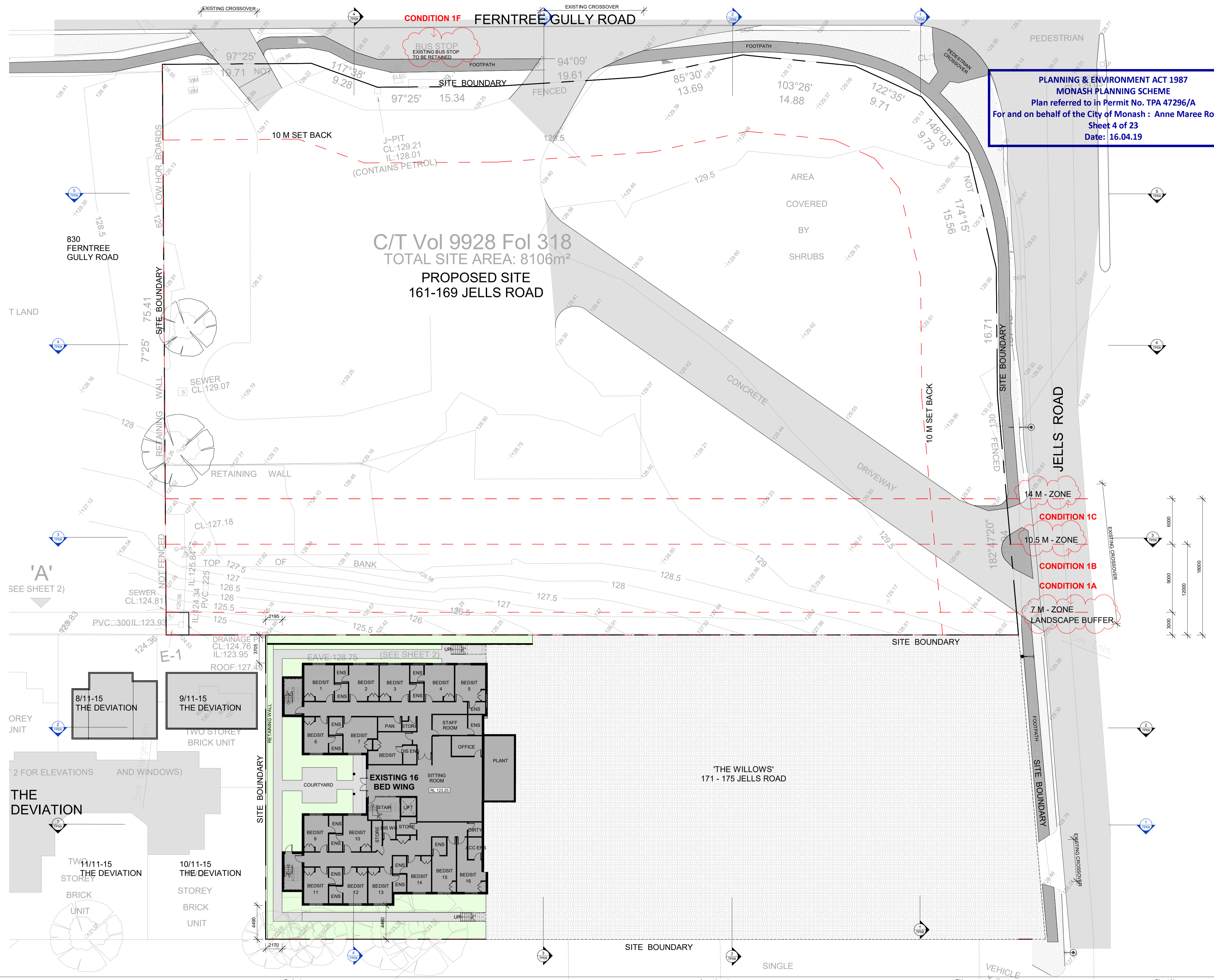
CHT Architects Pty Ltd  
 44 Oxford Street  
 Collingwood VIC 3066  
 Post Office Box 1352  
 Collingwood VIC 3066  
 Telephone 03 9417 1944  
 Facsimile 03 9415 1847  
 info@chtarchitects.com.au  
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**PLANNING & ENVIRONMENT ACT 1987**  
**MONASH PLANNING SCHEME**  
 Plan referred to in Permit No. TPA 47296/A  
 For and on behalf of the City of Monash : Anne Maree Roberts  
 Sheet 4 of 23  
 Date: 16.04.19



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 44 Oxford Street  
 Collingwood VIC 3066  
 Post Office Box 1352  
 Collingwood VIC 3066  
 Telephone 03 9417 1944  
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Project **THE WILLOWS WHEELERS HILL**  
 161 - 169 & 171 - 175 JELLS ROAD WHEELERS HILL  
 Client **LIFEVUE RESIDENTIAL CARE**

No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	16/07/2018	ENDORSEMENT ISSUE

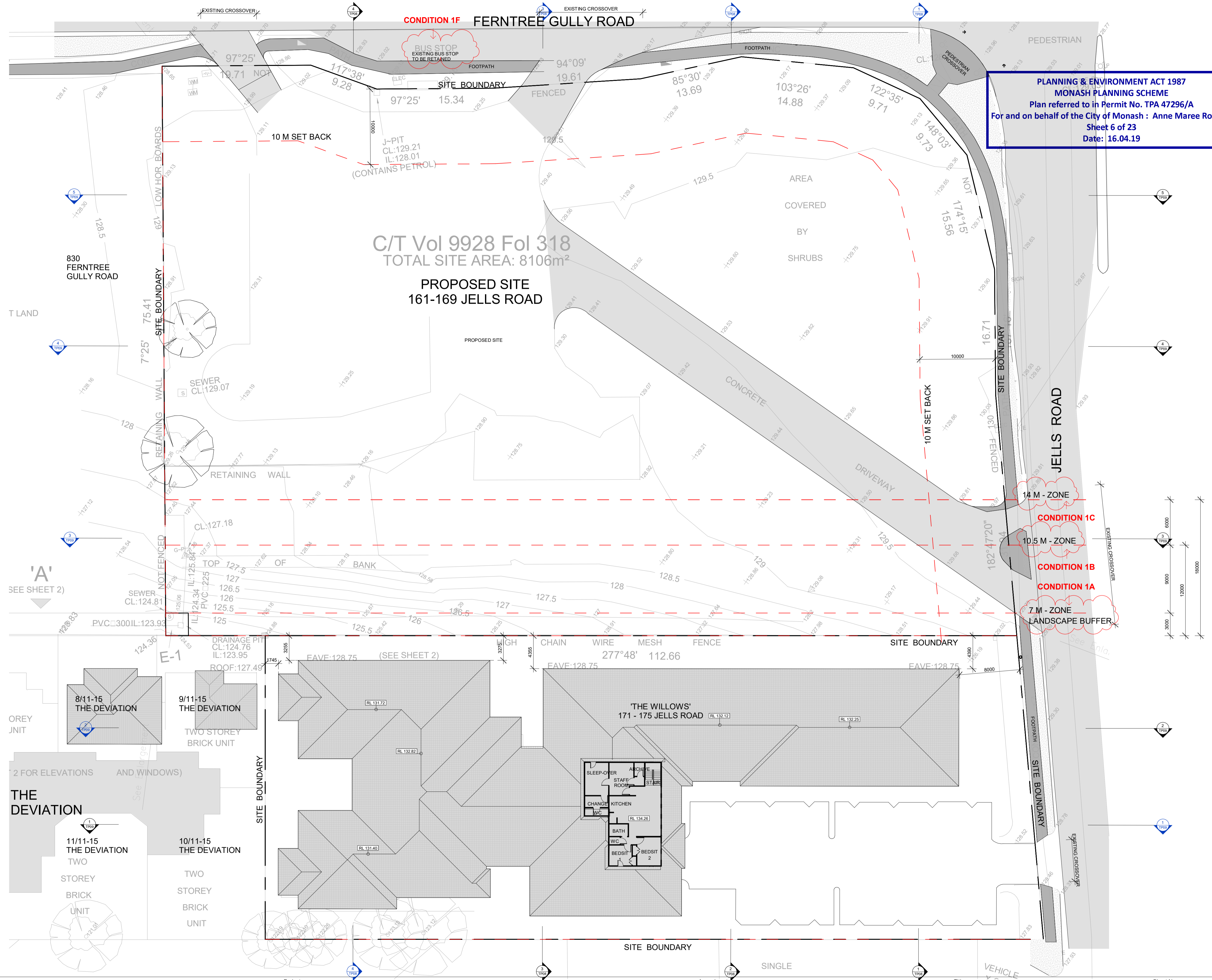
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 Date 10/07/2018

Revision **B**  
**16052**  
 Drawn by:SA Checked by:JM



**PLANNING & ENVIRONMENT ACT 1987**  
**MONASH PLANNING SCHEME**  
 Plan referred to in Permit No. TPA 47296/A  
 For and on behalf of the City of Monash : Anne Maree Roberts  
 Sheet 6 of 23  
 Date: 16.04.19



8/11-15 THE DEVIATION  
 9/11-15 THE DEVIATION  
 TWO STOREY BRICK UNIT  
 11/11-15 THE DEVIATION  
 TWO STOREY BRICK UNIT  
 10/11-15 THE DEVIATION  
 TWO STOREY BRICK UNIT

**THE WILLOWS WHEELERS HILL**  
 161 -169 & 171 -175 JELLS ROAD WHEELERS HILL  
**LIFEVUE RESIDENTIAL CARE**

No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE

EXISTING - SITE PLAN FIRST FLOOR  
 PRELIMINARY  
 NOT FOR CONSTRUCTION

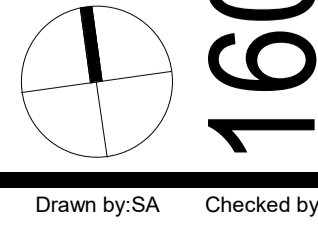
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 Date 10/07/2018  
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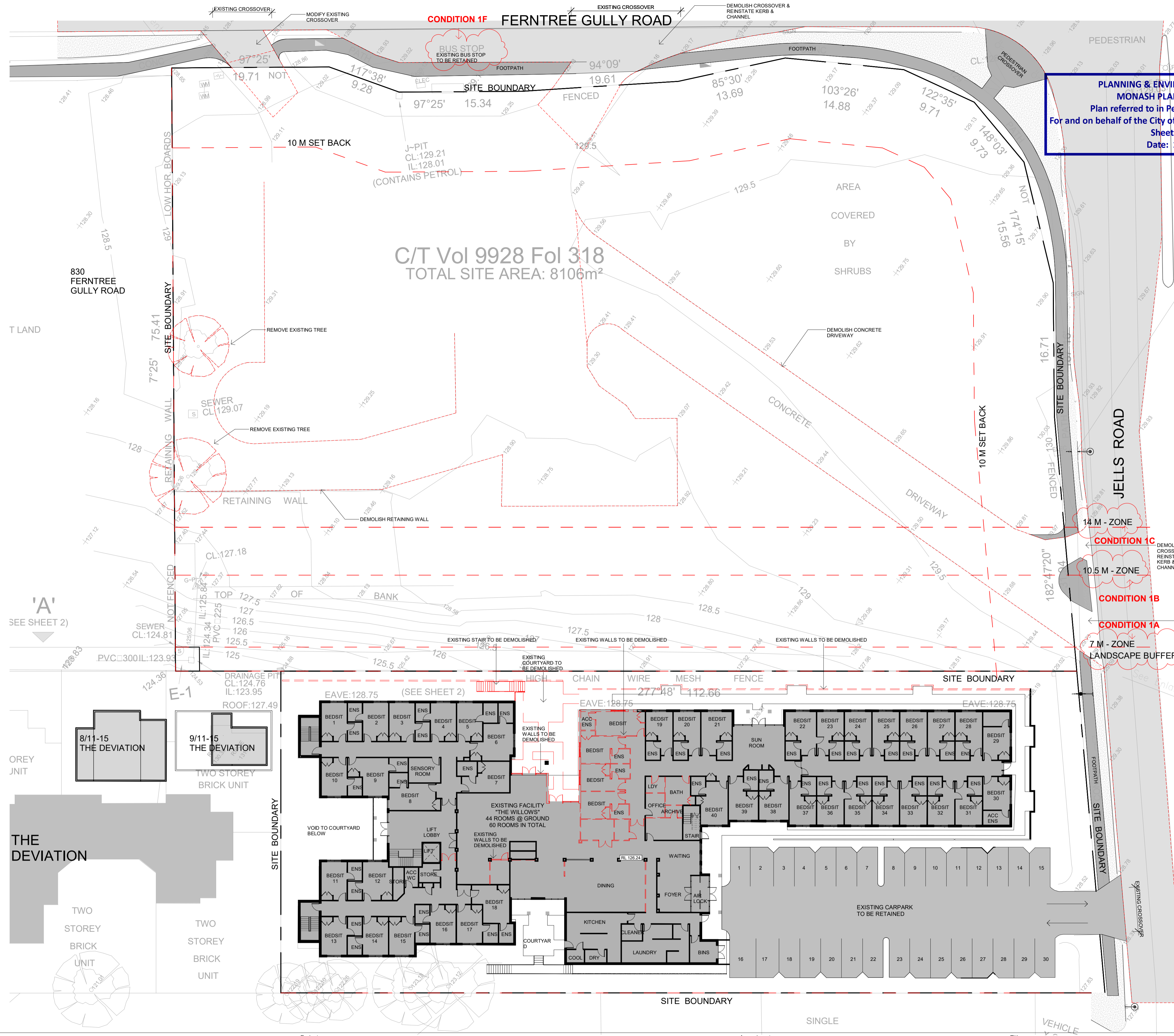
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 44 Oxford Street  
 Collingwood VIC 3066  
 Post Office Box 1352  
 Collingwood VIC 3066  
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 For and on behalf of the City of Monash : Anne Maree Roberts  
 Sheet 8 of 23  
 Date: 16.04.19



**THE DEVIATION**  
 TWO STOREY BRICK UNIT  
 TWO STOREY BRICK UNIT  
 TWO STOREY BRICK UNIT

**THE WILLOWS WHEELERS HILL**  
 161 -169 & 171 -175 JELLS ROAD WHEELERS HILL  
**LIFEVUE RESIDENTIAL CARE**

No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE

**DEMOLITION - GROUND FLOOR**  
 PRELIMINARY  
 NOT FOR CONSTRUCTION

Sheet No. **TP06**  
 Scale 1:250@A1  
 Date 10/07/2018

Revision **B**  
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 Drawn by: SA  
 Checked by: JM

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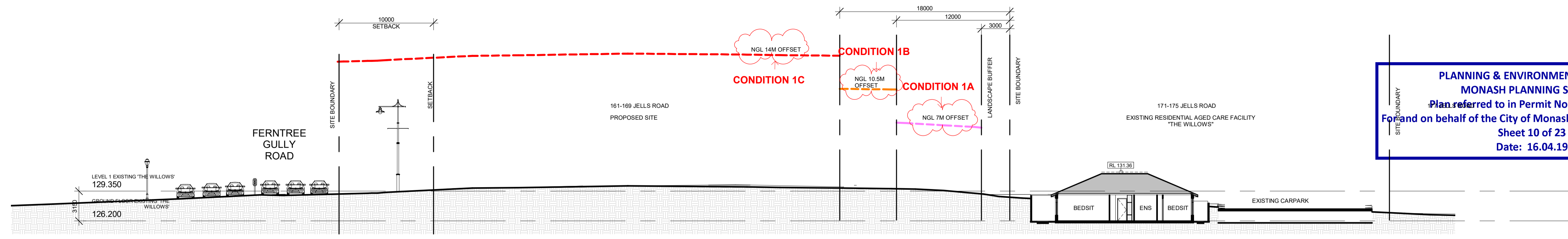


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 44 Oxford Street  
 Collingwood VIC 3066  
 Post Office Box 1352  
 Collingwood VIC 3066  
 Telephone 03 9417 1944  
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 info@chtarchitects.com.au  
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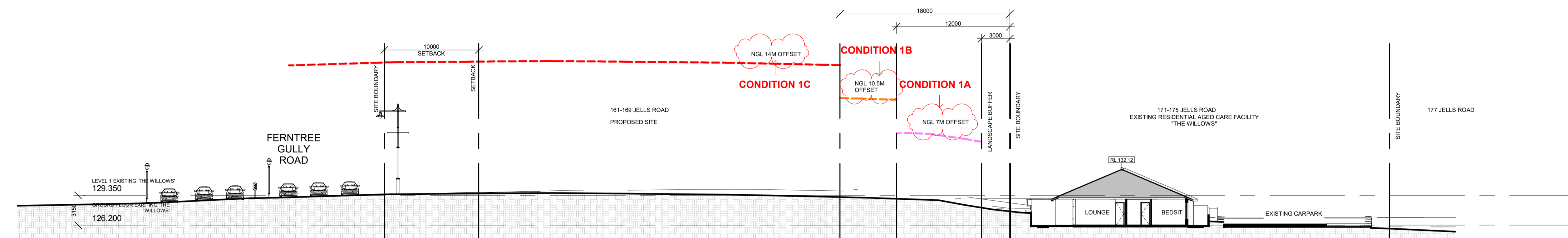
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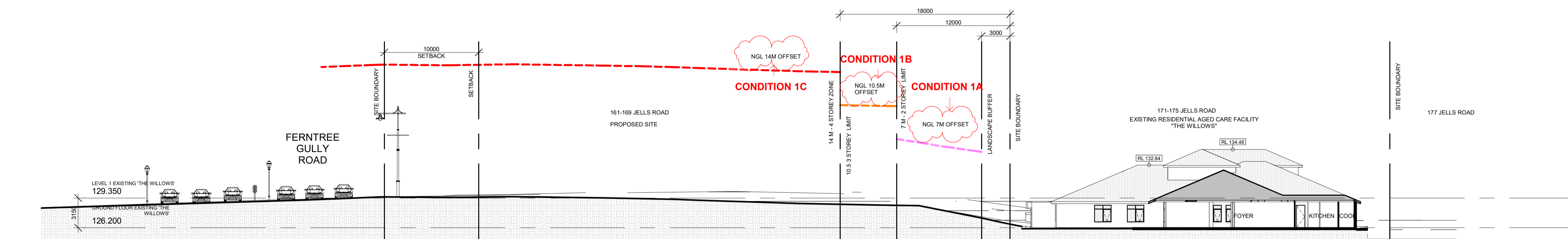
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 MONASH PLANNING SCHEME  
 Plan referred to in Permit No. TPA 47296/A  
 Prepared on behalf of the City of Monash : Anne Maree Roberts  
 Sheet 10 of 23  
 Date: 16.04.19



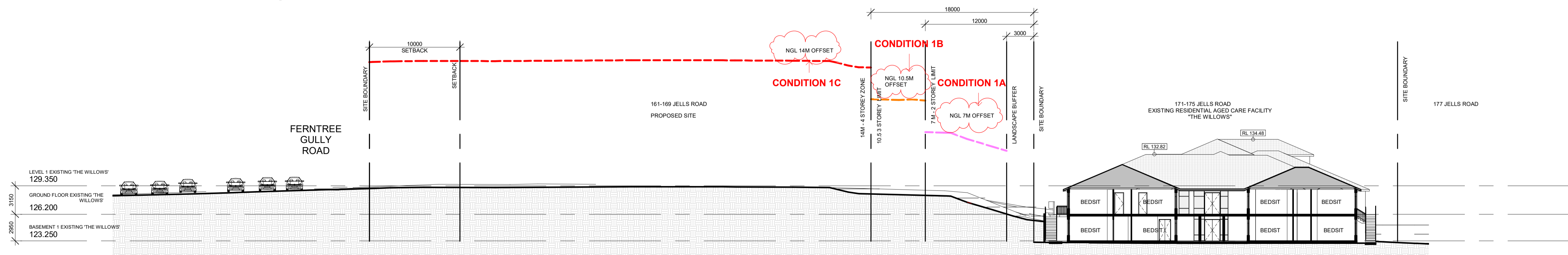
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2 Section 2  
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3 Section 3  
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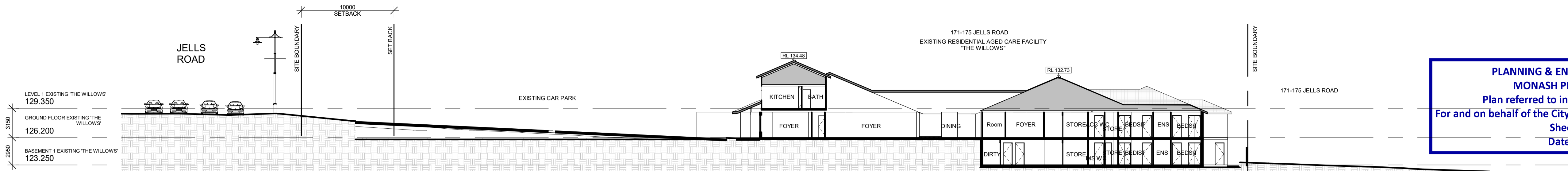


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No.	Date	Notes
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B	10/07/2018	ENDORSEMENT ISSUE



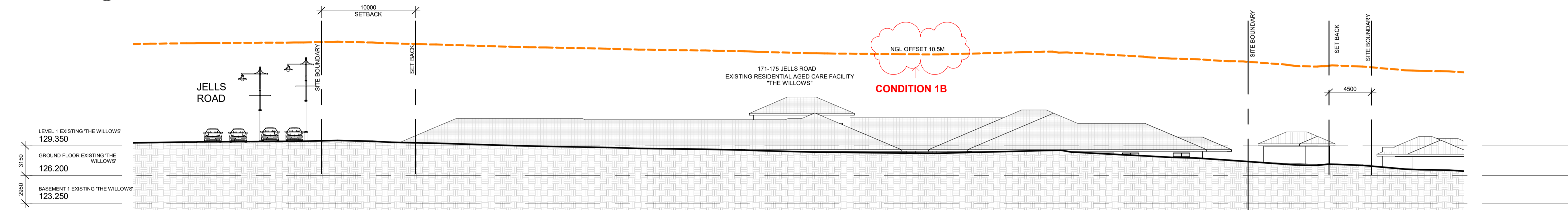
PLANNING & ENVIRONMENT ACT 1987  
 MONASH PLANNING SCHEME  
 Plan referred to in Permit No. TPA 47296/A  
 For and on behalf of the City of Monash : Anne Maree Roberts  
 Sheet 11 of 23  
 Date: 16.04.19



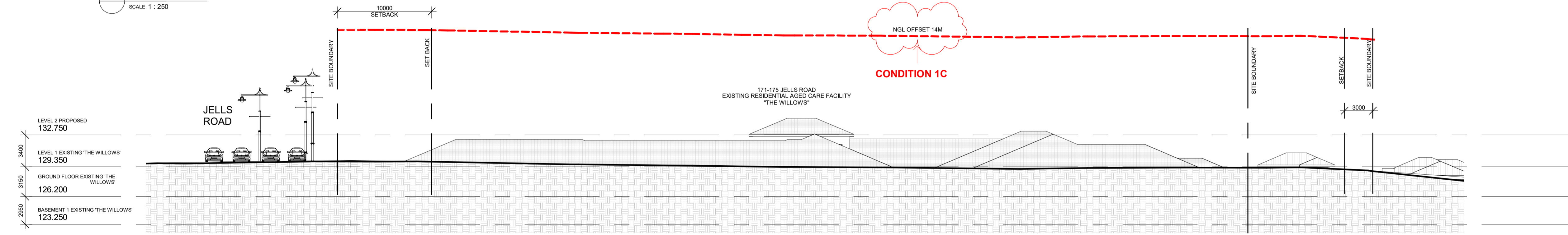
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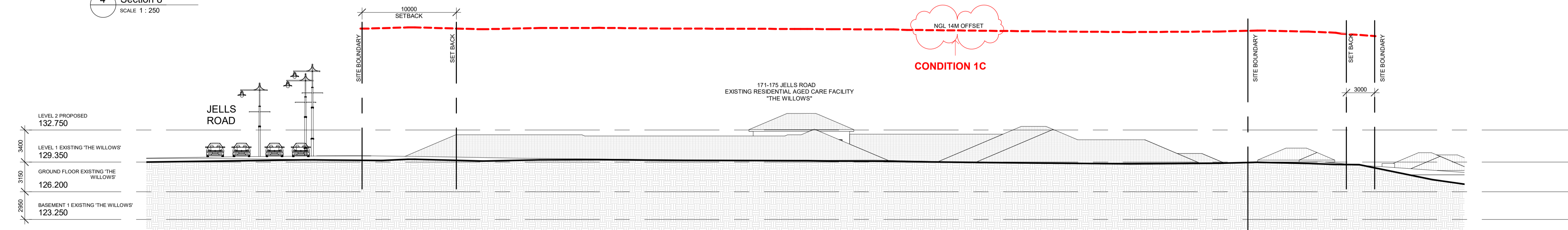
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3 Section 7  
 SCALE 1 : 250



4 Section 8  
 SCALE 1 : 250



5 Section 9  
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Project  
**THE WILLOWS WHEELERS HILL**  
 161 -169 & 171 -175 JELLS ROAD WHEELERS HILL  
 Client  
**LIFEVUE RESIDENTIAL CARE**

Amendments		
No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	10/07/2018	ENDORSEMENT ISSUE

Title  
 EXISTING - SECTIONS  
 Sheet  
 PRELIMINARY  
 NOT FOR CONSTRUCTION

Sheet No.  
**TP09**  
 Scale  
 1 : 250@A1  
 Date  
 10/07/2018

Revision  
**B**

16052

16:05:24 - 45/04/2019 2:12:41 PM

Drawn by: SA Checked by: JM



PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 47296/A  
Sheet 13 of 23  
Date: 16.04.19



830  
FERNTREE  
GULLY ROAD

NT LAND

'A'  
SEE SHEET 2)

OREY UNIT

THE  
DEVIATION

11/11-15  
THE DEVIATION  
TWO  
STOREY  
BRICK  
UNIT

10/11-15  
THE DEVIATION  
TWO  
STOREY  
BRICK  
UNIT

8/11-15  
THE DEVIATION

9/11-15  
THE DEVIATION  
TWO STOREY  
BRICK UNIT

Project  
**THE WILLOWS WHEELERS HILL**  
161-169 & 171-175 JELLS ROAD WHEELERS HILL  
Client  
**LIFEVUE RESIDENTIAL CARE**

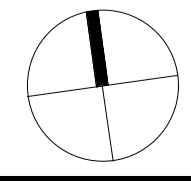
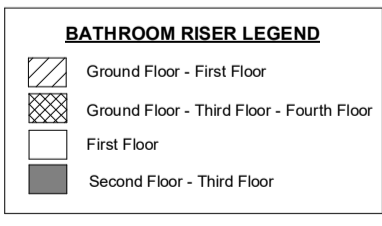
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No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	12/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES

PROPOSED - GROUND FLOOR

PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet No.  
**TP11**  
Revision  
**C**  
Scale  
As indicated@A1  
Date  
12/04/2019



16052

Drawn by:SA Checked by:JM

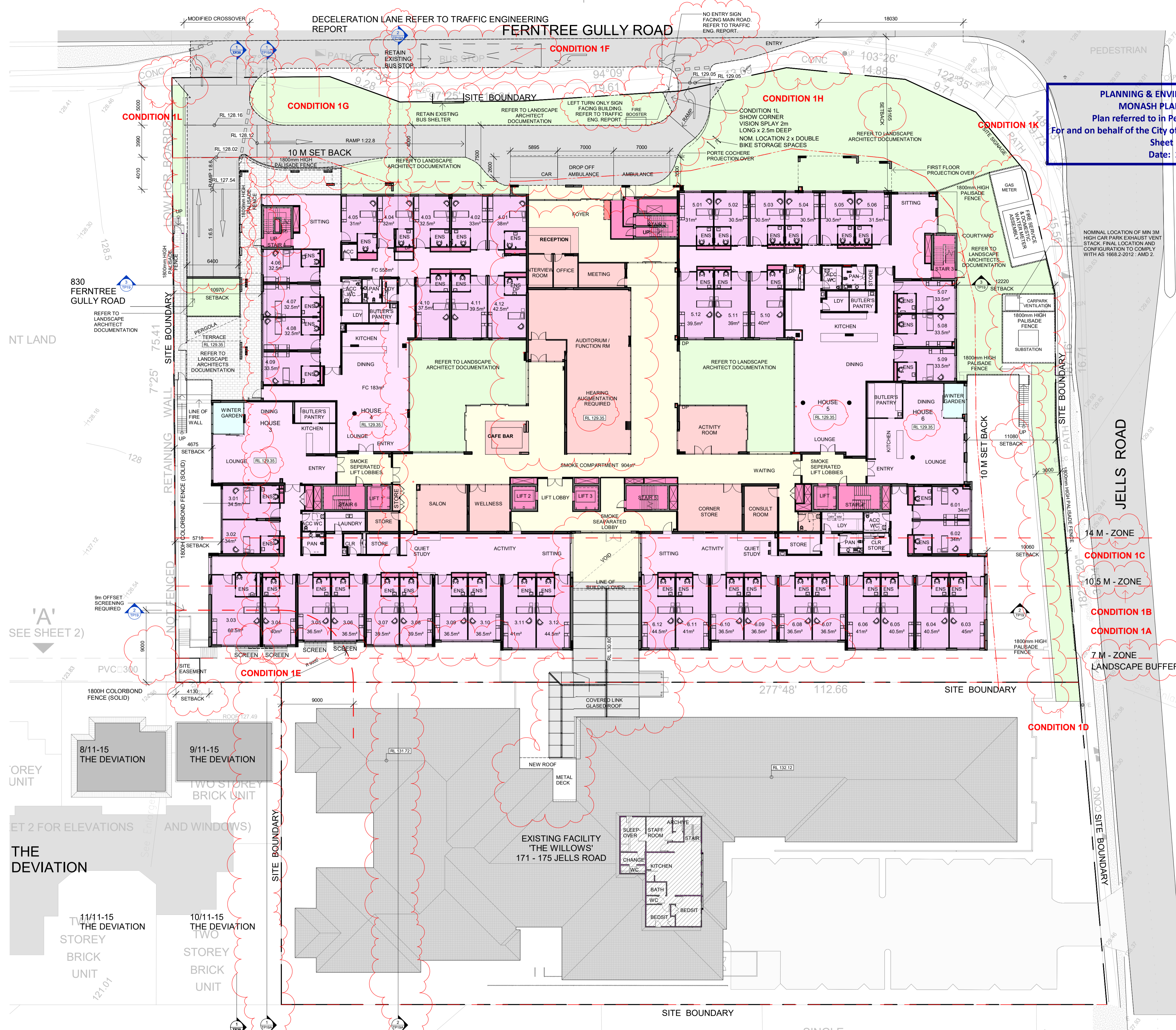


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Collingwood VIC 3066  
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**PLANNING & ENVIRONMENT ACT 1987**  
**MONASH PLANNING SCHEME**  
 Plan referred to in Permit No. TPA 47296/A  
 Sheet 14 of 23  
 Date: 16.04.19

830  
 FERNTREE  
 GULLY ROAD

JELLS ROAD

'A'  
 SEE SHEET 2)

8/11-15  
 THE DEVIATION

9/11-15  
 THE DEVIATION

10/11-15  
 THE DEVIATION

11/11-15  
 THE DEVIATION

EXISTING FACILITY  
 'THE WILLOWS'  
 171 - 175 JELLS ROAD

**BATHROOM RISER LEGEND**

[Diagonal lines]	Ground Floor - First Floor
[Cross-hatch]	Ground Floor - Third Floor - Fourth Floor
[Solid grey]	First Floor
[Solid black]	Second Floor - Third Floor



CHT Architects Pty Ltd  
 44 Oxford Street  
 Collingwood VIC 3066  
 Post Office Box 1352  
 Collingwood VIC 3066  
 Telephone 03 9417 1944  
 Facsimile 03 9415 1847  
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Project  
**THE WILLOWS WHEELERS HILL**  
 161 - 169 & 171 - 175 JELLS ROAD WHEELERS HILL

Client  
**LIFEVUE RESIDENTIAL CARE**

Amendments

No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	15/07/2018	ENDORSEMENT ISSUES
C	10/04/2019	ENDORSEMENT QUERIES
D	12/04/2019	ENDORSEMENT QUERIES

Title  
**PROPOSED - FIRST FLOOR**

Sheet  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

Sheet No.  
**TP12**

Scale  
 As indicated@A1

Date  
 12/04/2019

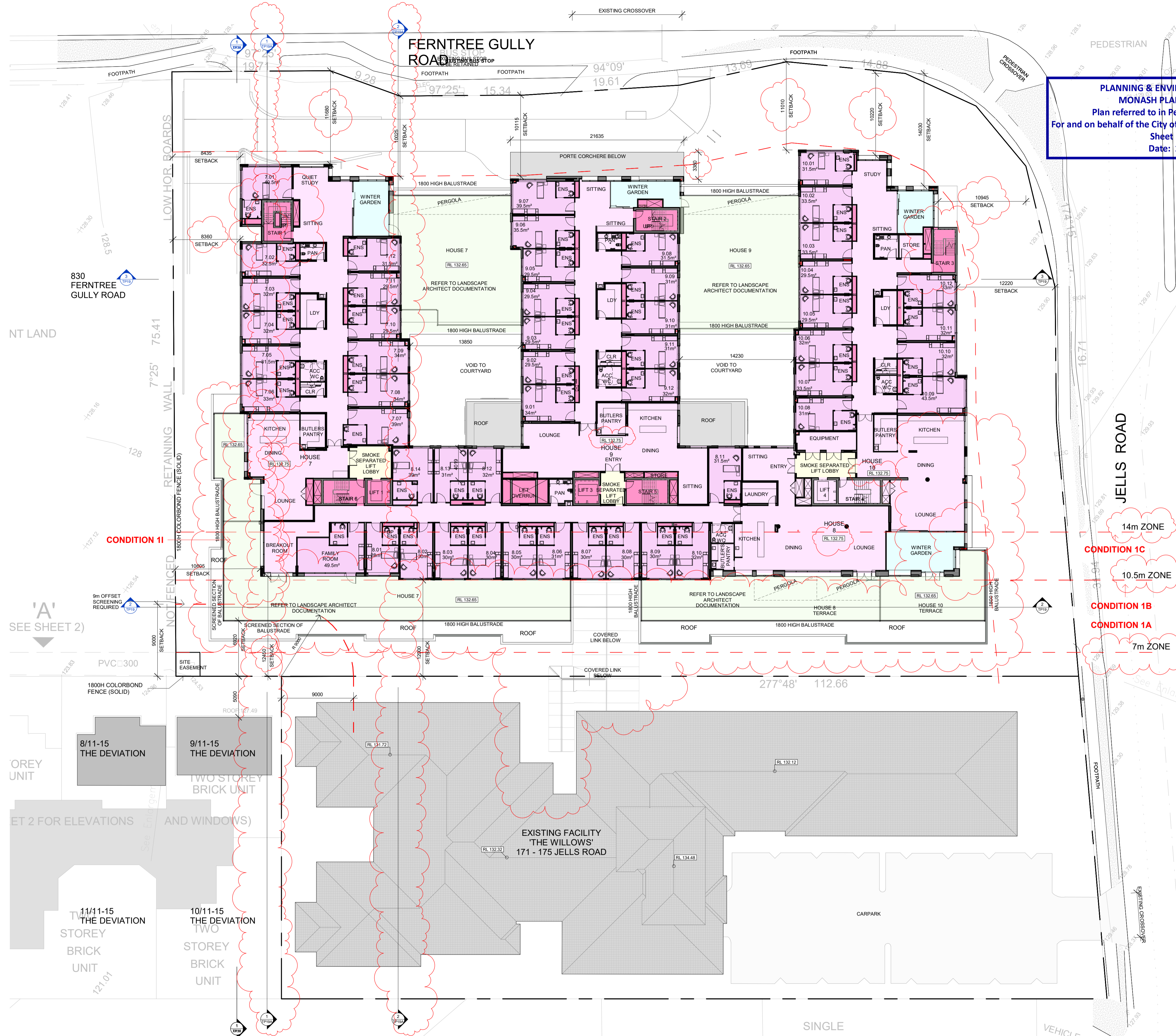
Revision  
**C**

16052

Drawn by: SA  
 Checked by: JM

16:052 - 45/04/2019 2:13:34 PM

**PLANNING & ENVIRONMENT ACT 1987**  
**MONASH PLANNING SCHEME**  
 Plan referred to in Permit No. TPA 47296/A  
 For and on behalf of the City of Monash : Anne Maree Roberts  
 Sheet 15 of 23  
 Date: 16.04.19



**BATHROOM RISER LEGEND**

[Pattern]	Ground Floor - First Floor
[Pattern]	Ground Floor - Third Floor - Fourth Floor
[Pattern]	First Floor
[Pattern]	Second Floor - Third Floor



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 44 Oxford Street  
 Collingwood VIC 3066  
 Post Office Box 1352  
 Collingwood VIC 3066  
 Telephone 03 9417 1944  
 Facsimile 03 9415 1847  
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Project **THE WILLOWS WHEELERS HILL**  
 161 -169 & 171 -175 JELLS ROAD WHEELERS HILL  
 Client **LIFEVUE RESIDENTIAL CARE**

Amendments

No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	15/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES

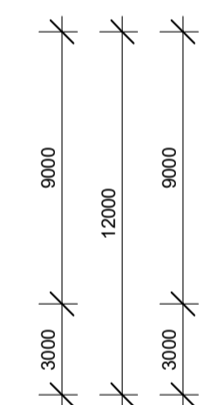
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 Sheet **PRELIMINARY**  
**NOT FOR CONSTRUCTION**

Sheet No. **TP13**  
 Scale As indicated@A1  
 Date **12/04/2019**

Revision **C**  
**16052**  
 Drawn by:SA Checked by:JM

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**PLANNING & ENVIRONMENT ACT 1987**  
**MONASH PLANNING SCHEME**  
 Plan referred to in Permit No. TPA 47296/A  
 For and on behalf of the City of Monash : Anne Maree Roberts  
 Sheet 16 of 23  
 Date: 16.04.19



**BATHROOM RISER LEGEND**

[Pattern]	Ground Floor - First Floor
[Pattern]	Ground Floor - Third Floor - Fourth Floor
[Pattern]	First Floor
[Pattern]	Second Floor - Third Floor



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 44 Oxford Street  
 Collingwood VIC 3066  
 Post Office Box 1352  
 Collingwood VIC 3066  
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**THE WILLOWS WHEELERS HILL**  
 161 -169 & 171 -175 JELLS ROAD WHEELERS HILL  
 Client  
**LIFEVUE RESIDENTIAL CARE**

Amendments

No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	15/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES

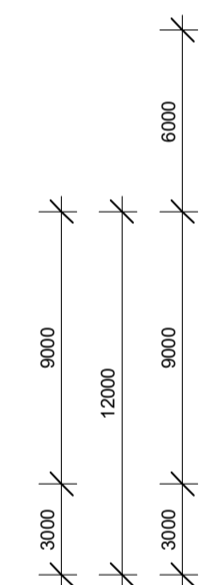
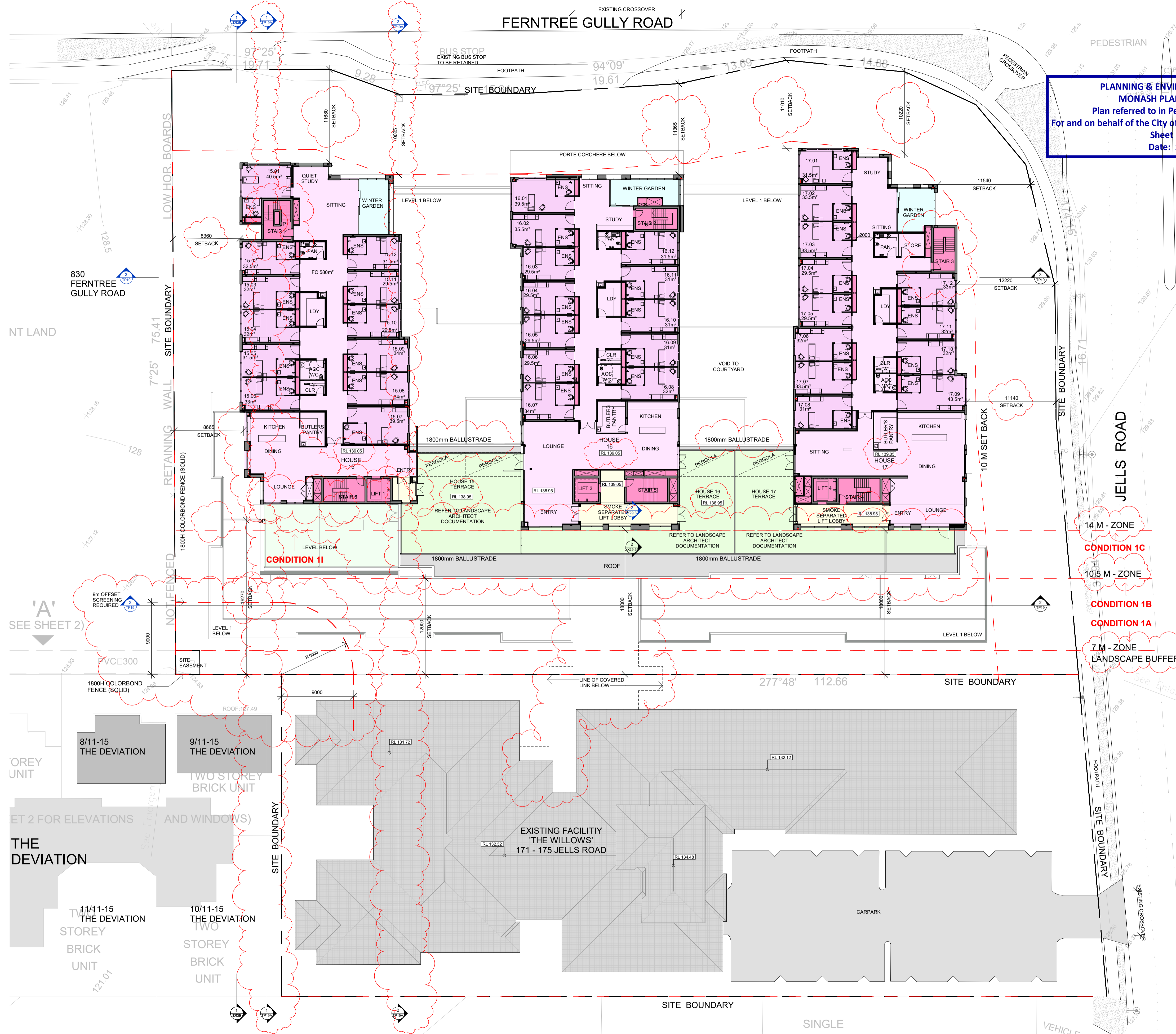
Title  
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 Sheet  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

Sheet No.  
**TP14**  
 Scale  
 As indicated@A1  
 Date  
**12/04/2019**

Revision  
**C**  
**16052**  
 Drawn by:SA  
 Checked by:JM

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**PLANNING & ENVIRONMENT ACT 1987**  
**MONASH PLANNING SCHEME**  
 Plan referred to in Permit No. TPA 47296/A  
 For and on behalf of the City of Monash : Anne Maree Roberts  
 Sheet 17 of 23  
 Date: 16.04.19



'A' SEE SHEET 2)

OREY UNIT  
 8/11-15 THE DEVIATION  
 9/11-15 THE DEVIATION  
 TWO STOREY BRICK UNIT  
 ET 2 FOR ELEVATIONS AND WINDOWS)  
 THE DEVIATION  
 11/11-15 THE DEVIATION  
 TWO STOREY BRICK UNIT  
 10/11-15 THE DEVIATION  
 TWO STOREY BRICK UNIT

EXISTING FACILITY 'THE WILLOWS' 171 - 175 JELLS ROAD

**BATHROOM RISER LEGEND**

[Pattern]	Ground Floor - First Floor
[Pattern]	Ground Floor - Third Floor - Fourth Floor
[Pattern]	First Floor
[Pattern]	Second Floor - Third Floor



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 44 Oxford Street  
 Collingwood VIC 3066  
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 Collingwood VIC 3066  
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Project **THE WILLOWS WHEELERS HILL**  
 161 - 169 & 171 - 175 JELLS ROAD WHEELERS HILL  
 Client **LIFEVUE RESIDENTIAL CARE**

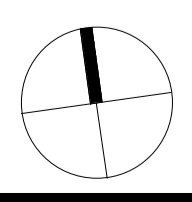
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No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	15/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES

Title **PROPOSED FOURTH FLOOR**  
 Sheet **PRELIMINARY NOT FOR CONSTRUCTION**

Sheet No. **TP15**  
 Scale As indicated@A1  
 Date **12/04/2019**

Revision **C**



**16052**

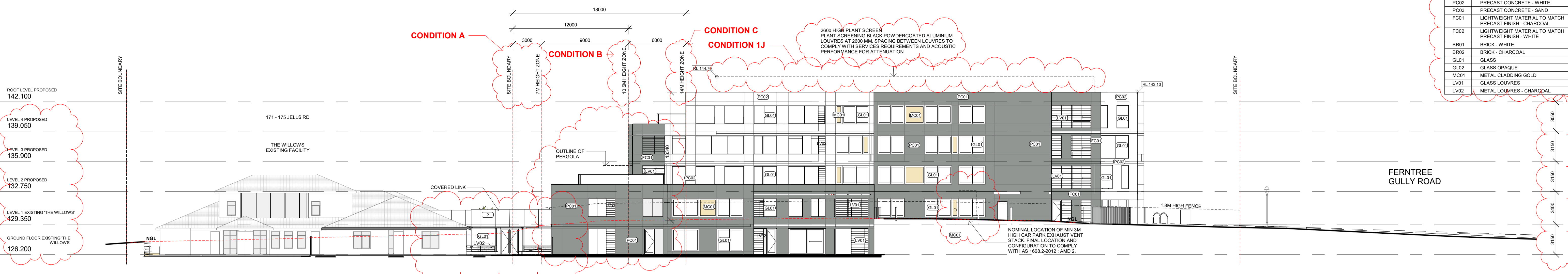
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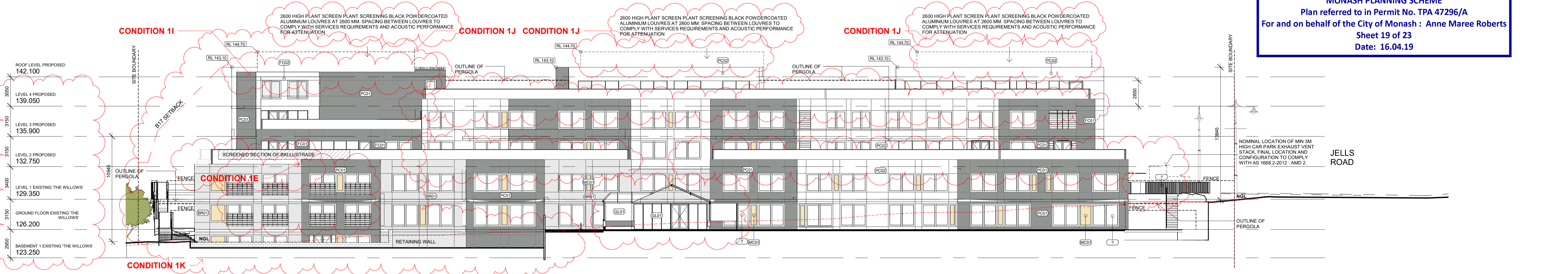


MATERIALS LEGEND	
PC01	PRECAST CONCRETE - CHARCOAL
PC02	PRECAST CONCRETE - WHITE
PC03	PRECAST CONCRETE - SAND
FC01	LIGHTWEIGHT MATERIAL TO MATCH PRECAST FINISH - CHARCOAL
FC02	LIGHTWEIGHT MATERIAL TO MATCH PRECAST FINISH - WHITE
BR01	BRICK - WHITE
BR02	BRICK - CHARCOAL
GL01	GLASS
GL02	GLASS OPAQUE
MC01	METAL CLADDING GOLD
LV01	GLASS LOUVRES
LV02	METAL LOUVRES - CHARCOAL

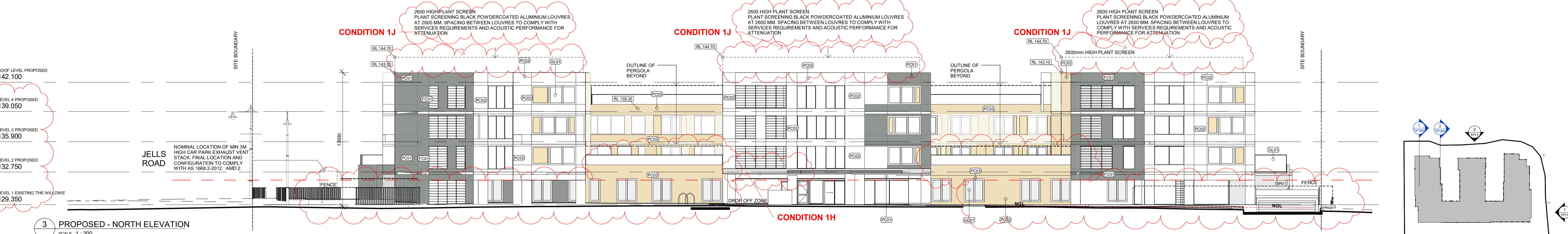


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SCALE 1 : 200

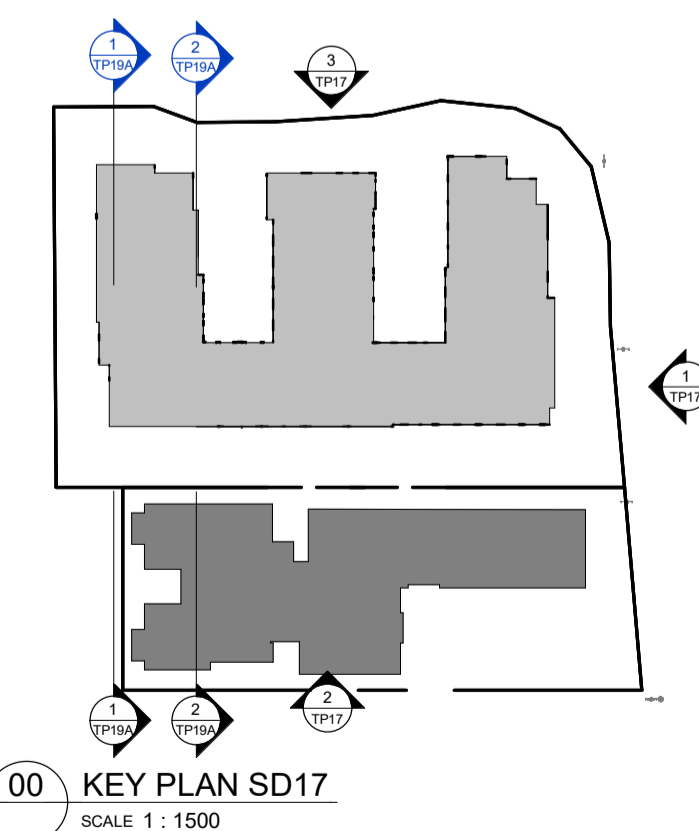
PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 47296/A  
For and on behalf of the City of Monash : Anne Maree Roberts  
Sheet 19 of 23  
Date: 16.04.19



2 PROPOSED - SOUTH ELEVATION  
SCALE 1 : 200



3 PROPOSED - NORTH ELEVATION  
SCALE 1 : 200



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**THE WILLOWS WHEELERS HILL**  
161 -169 & 171 -175 JELLS ROAD WHEELERS HILL  
Client  
**LIFELVIEW RESIDENTIAL CARE**

No.	Date	Notes
A	16/09/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	12/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES

Title  
**PROPOSED - ELEVATIONS**  
Sheet  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

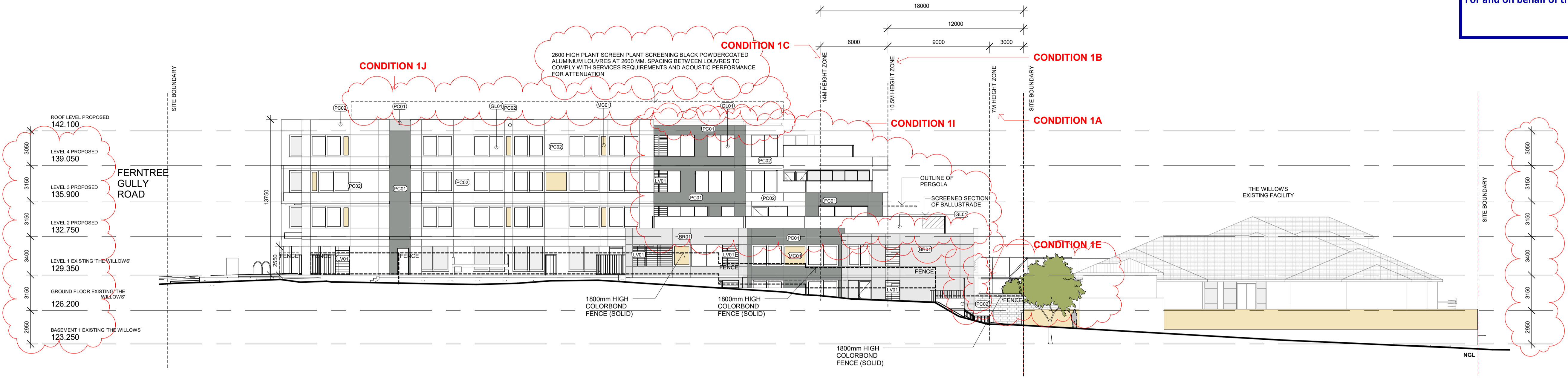
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Revision  
**C**  
Scale  
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Date  
12/04/2019

16052  
Drawn by: SA  
Checked by: JM

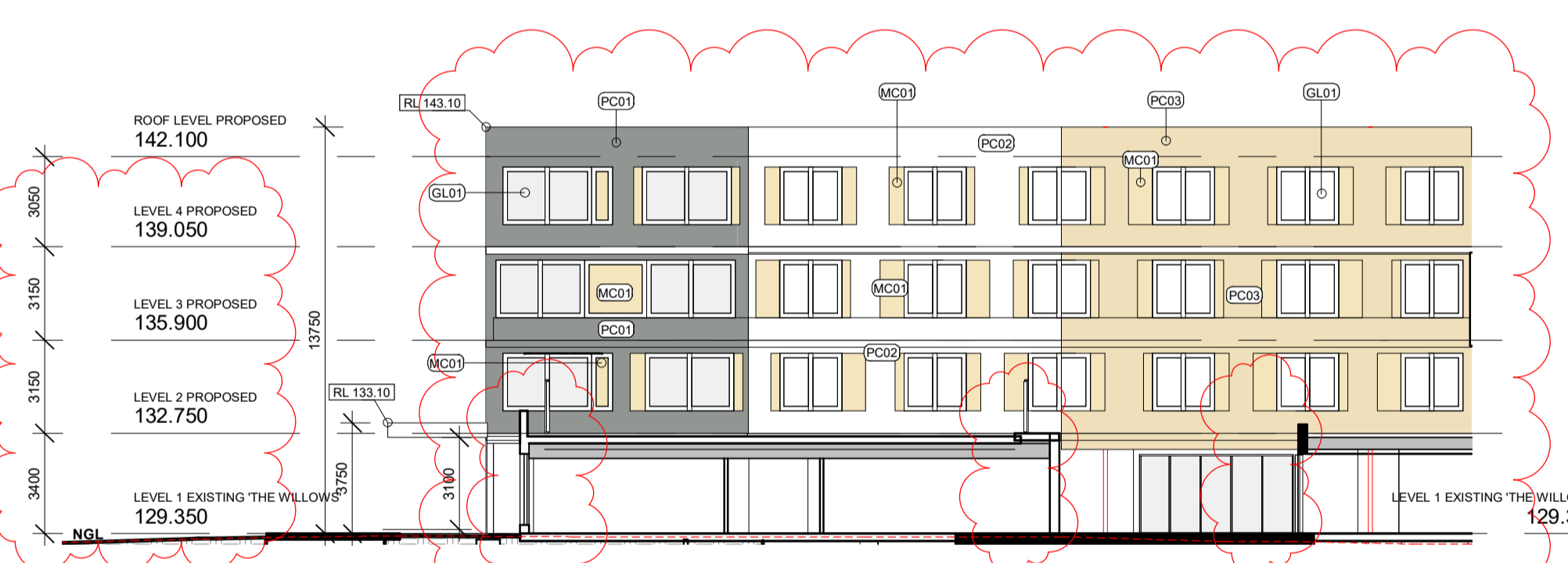
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MATERIALS LEGEND	
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PC02	PRECAST CONCRETE - WHITE
PC03	PRECAST CONCRETE - SAND
PC04	SPRINKLING MATERIAL TO MATCH PRECAST FINISH - CHARCOAL
PC05	LIGHTWEIGHT MATERIAL TO MATCH PRECAST FINISH - WHITE
BR01	BRICK - WHITE
GL01	GLASS
MC01	METAL CLADDING GOLD
LV01	GLASS LOUVRES
LV02	METAL LOUVRES - CHARCOAL

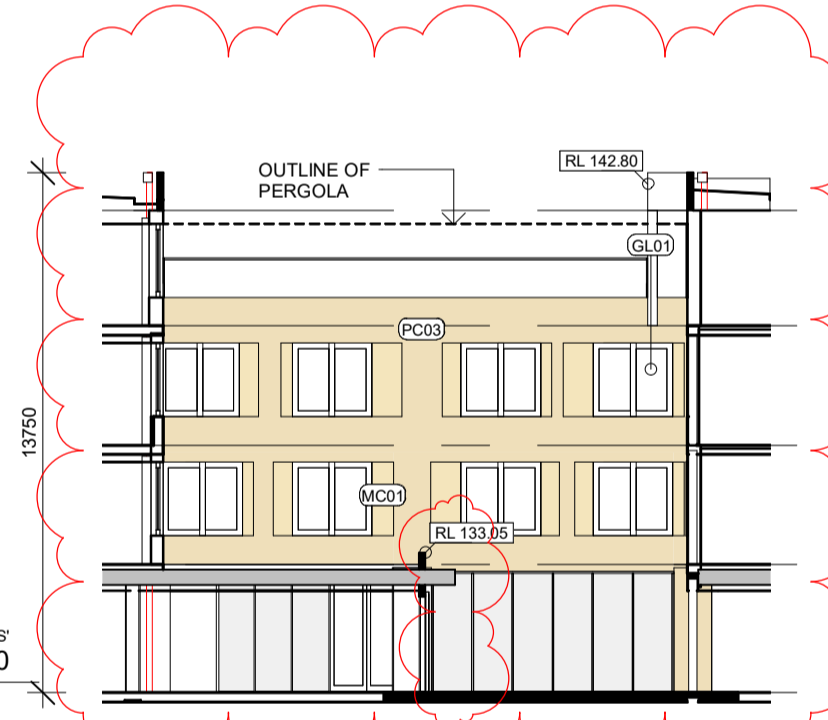
PLANNING & ENVIRONMENT ACT 1987  
**MONASH PLANNING SCHEME**  
 Plan referred to in Permit No. TPA 47296/A  
 For and on behalf of the City of Monash: **Anne Marge Roberts**  
 Sheet 20 of 23  
 Date: 16.04.19



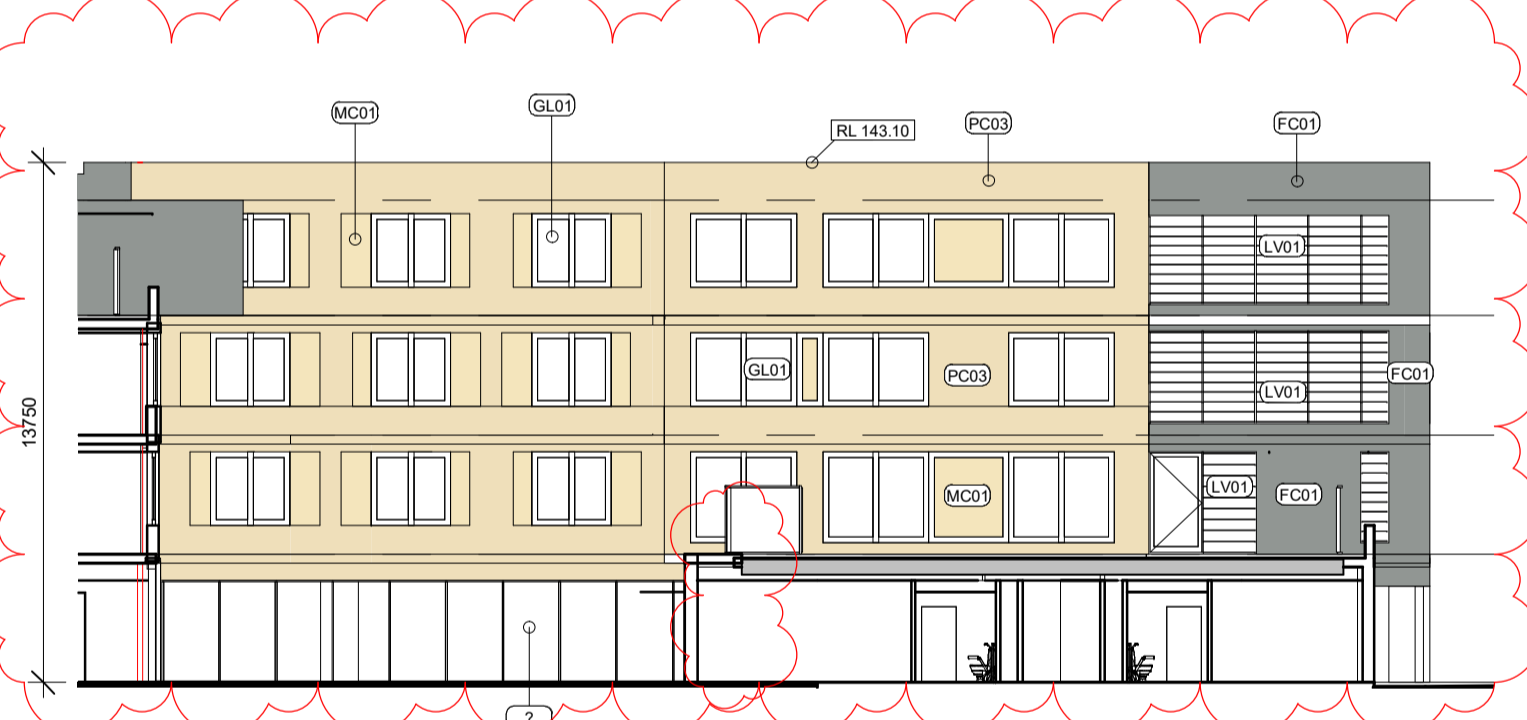
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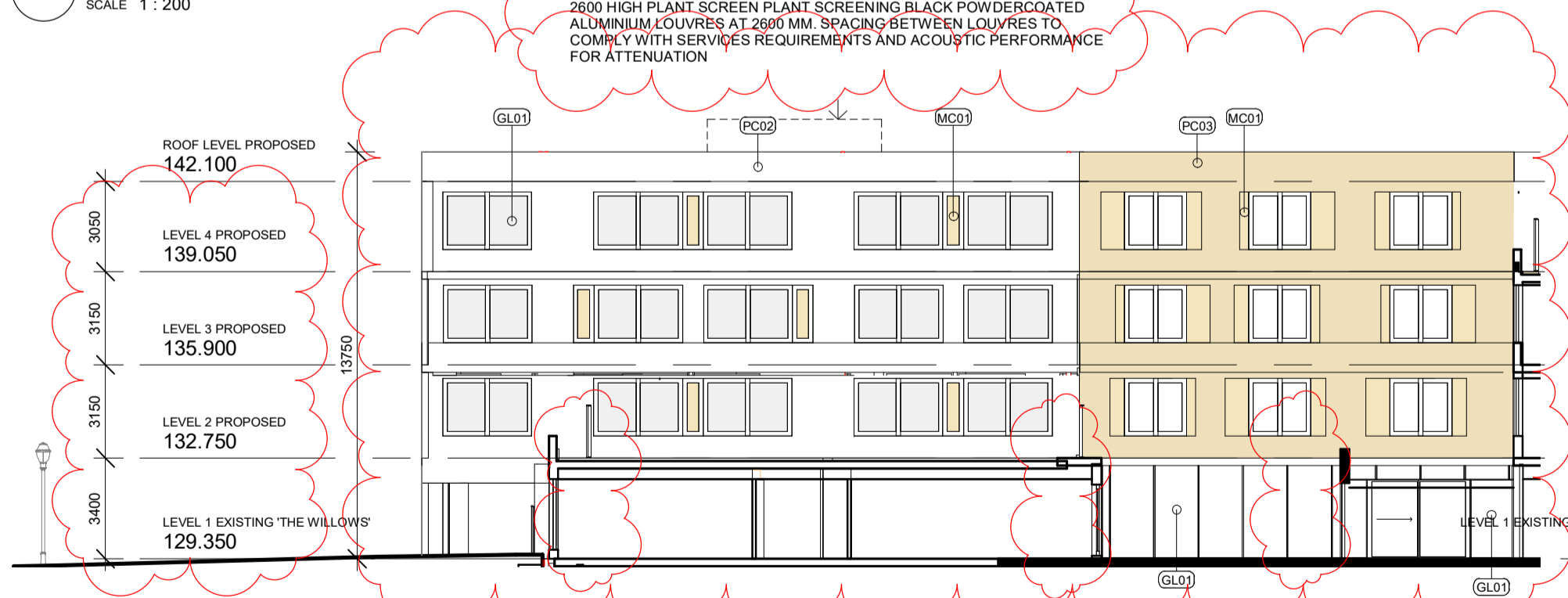
2 COURTYARD 3  
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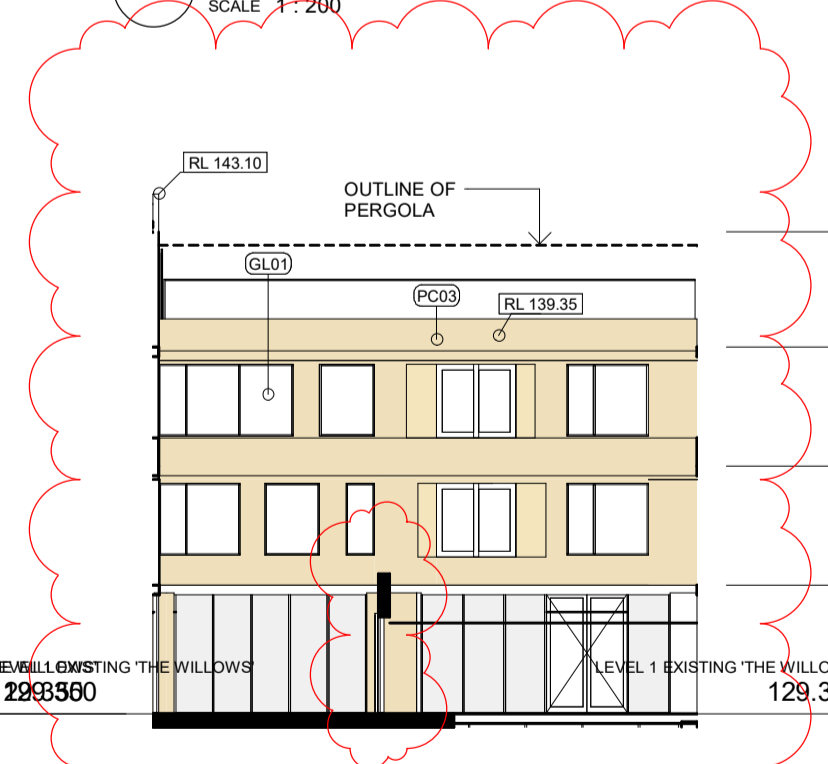
3 COURTYARD 2  
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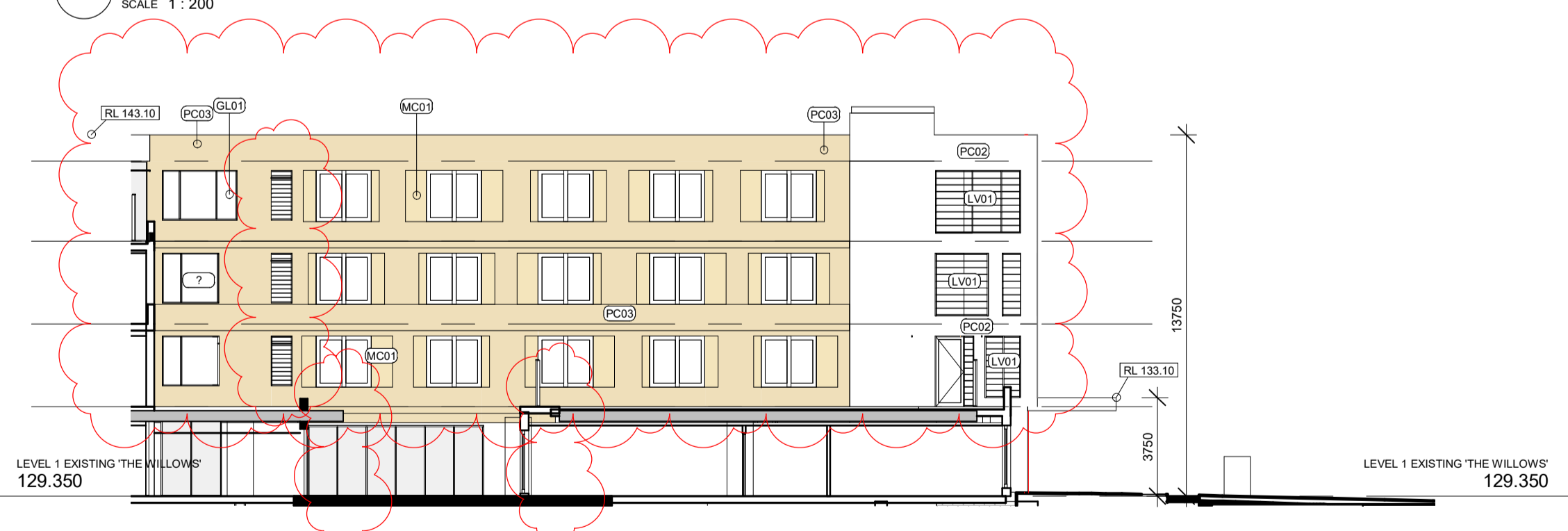
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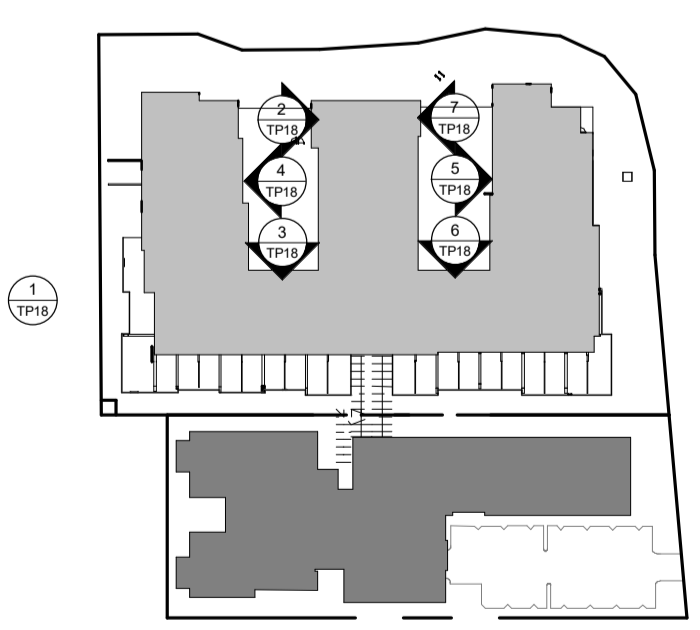
5 COURTYARD 6  
 SCALE 1:200



6 COURTYARD 5  
 SCALE 1:200



7 COURTYARD 4  
 SCALE 1:200



00 KEY PLAN  
 SCALE 1:1500



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 44 Oxford Street  
 Collingwood VIC 3066  
 Post Office Box 1352  
 Collingwood VIC 3066  
 Telephone 03 9417 1944  
 Facsimile 03 9415 1847  
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Project **THE WILLOWS WHEELERS HILL**  
 161 -169 & 171 -175 JELLS ROAD WHEELERS HILL  
 Client **LIFEVUE RESIDENTIAL CARE**

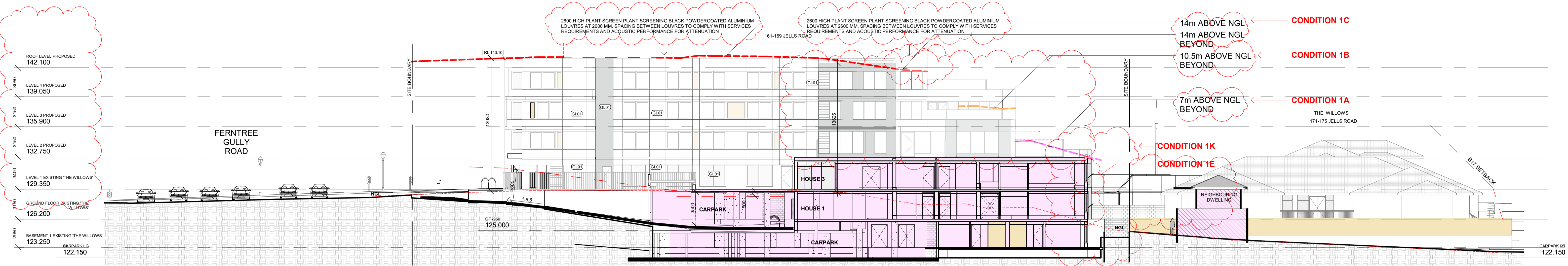
No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	15/07/2018	ENDORSEMENT ISSUE
C	12/04/2019	ENDORSEMENT QUERIES

Title **PROPOSED - ELEVATIONS**  
 Sheet **PRELIMINARY**  
**NOT FOR CONSTRUCTION**

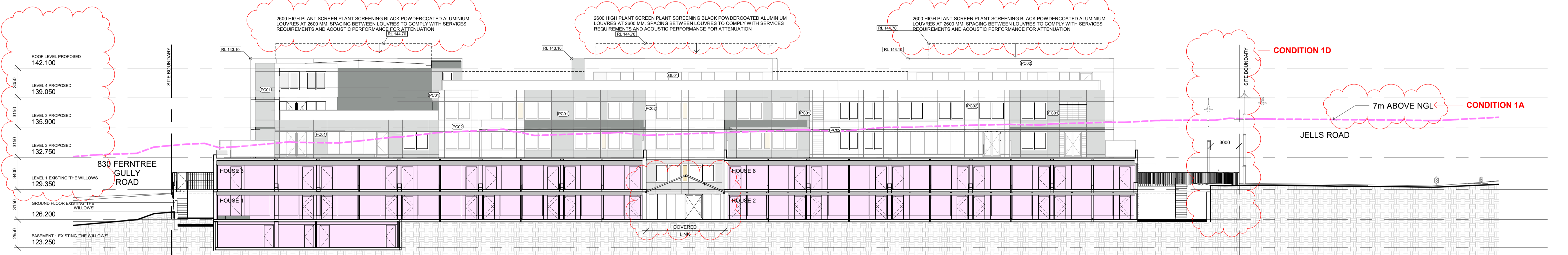
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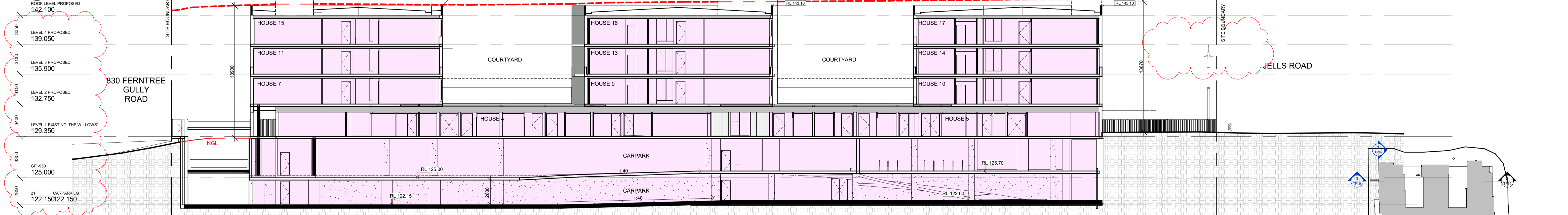
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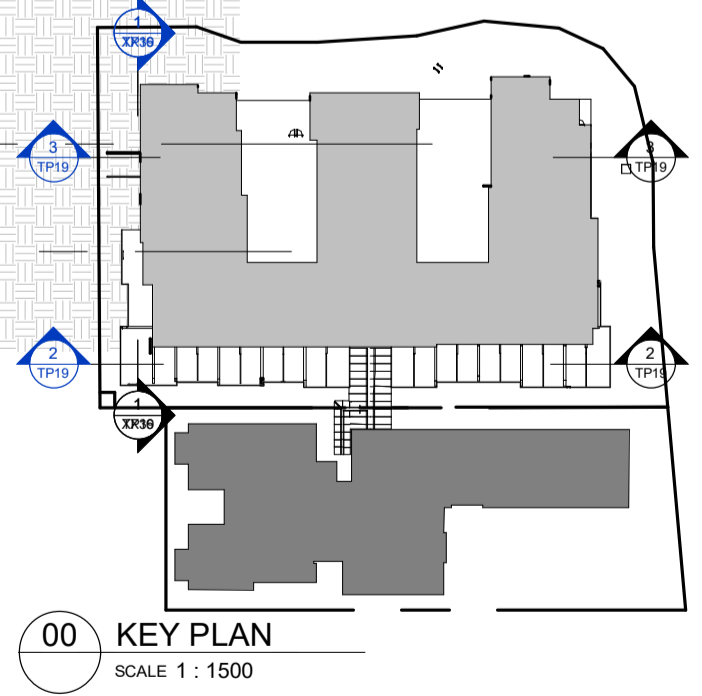
1 RAMP SECTION  
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2 Section 44  
SCALE 1 : 200



3 Section 45  
SCALE 1 : 200



PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 47296/A  
For and on behalf of the City of Monash : Anne Maree Roberts  
Sheet 21 of 23  
Date: 16.04.19

16:052-45/04/2019 2:15:35 PM



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Collingwood VIC 3066  
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Facsimile 03 9415 1847  
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Project THE WILLOWS WHEELERS HILL  
161-169 & 171-175 JELLS ROAD WHEELERS HILL  
Client LIFEVIEW RESIDENTIAL CARE

No.	Date	Notes
A	16/06/2017	RESPONSE TO RFI FOR PLANNING APPLICATION NO. TPA47296
B	15/07/2018	ENDORSEMENT ISSUE
A	10/04/2019	ENDORSEMENT QUERIES
C	12/04/2019	ENDORSEMENT QUERIES

Title PROPOSED - SECTIONS  
Sheet PRELIMINARY  
NOT FOR CONSTRUCTION

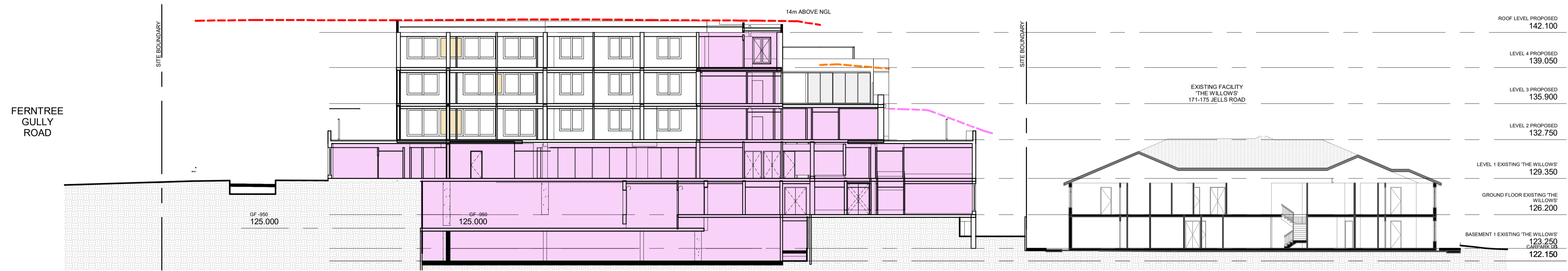
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Revision C  
Scale As indicated@A1  
Date 12/04/2019

16052  
Drawn by:SA Checked by:JM

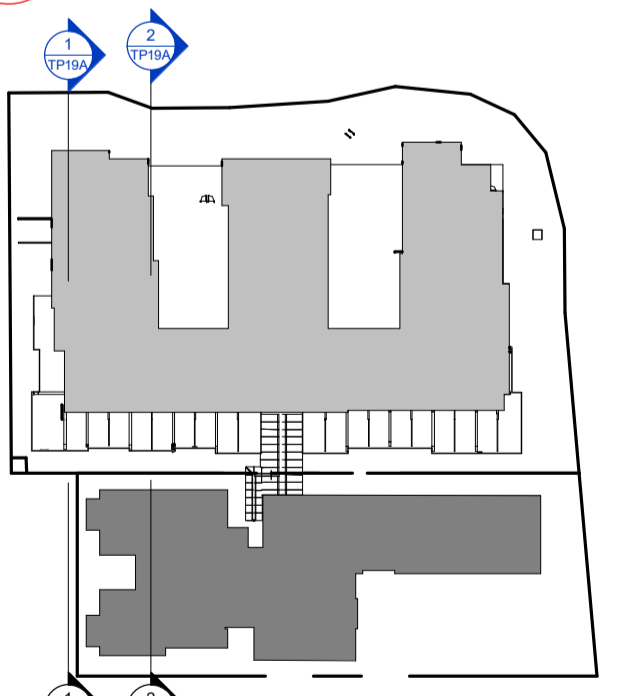
PLANNING & ENVIRONMENT ACT 1987  
 MONASH PLANNING SCHEME  
 Plan referred to in Permit No. TPA 47296/A  
 For and on behalf of the City of Monash : Anne Maree Roberts  
 Sheet 22 of 23  
 Date: 16.04.19



1 Section 11  
 SCALE 1 : 200



2 Section 13  
 SCALE 1 : 200



3 KEY PLAN  
 SCALE 1 : 1500



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 Collingwood VIC 3066  
 Post Office Box 1352  
 Collingwood VIC 3066  
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Project

THE WILLOWS WHEELERS HILL  
 161 -169 & 171 -175 JELLS ROAD WHEELERS HILL

Client

LIFEVUE RESIDENTIAL CARE

Amendments

No.	Date	Notes
A	12/04/2019	NDORSEMENT QUERIES

Title

PROPOSED SECTIONS

Sheet

PRELIMINARY  
 NOT FOR CONSTRUCTION

Sheet No.

TP19A

Revision

A

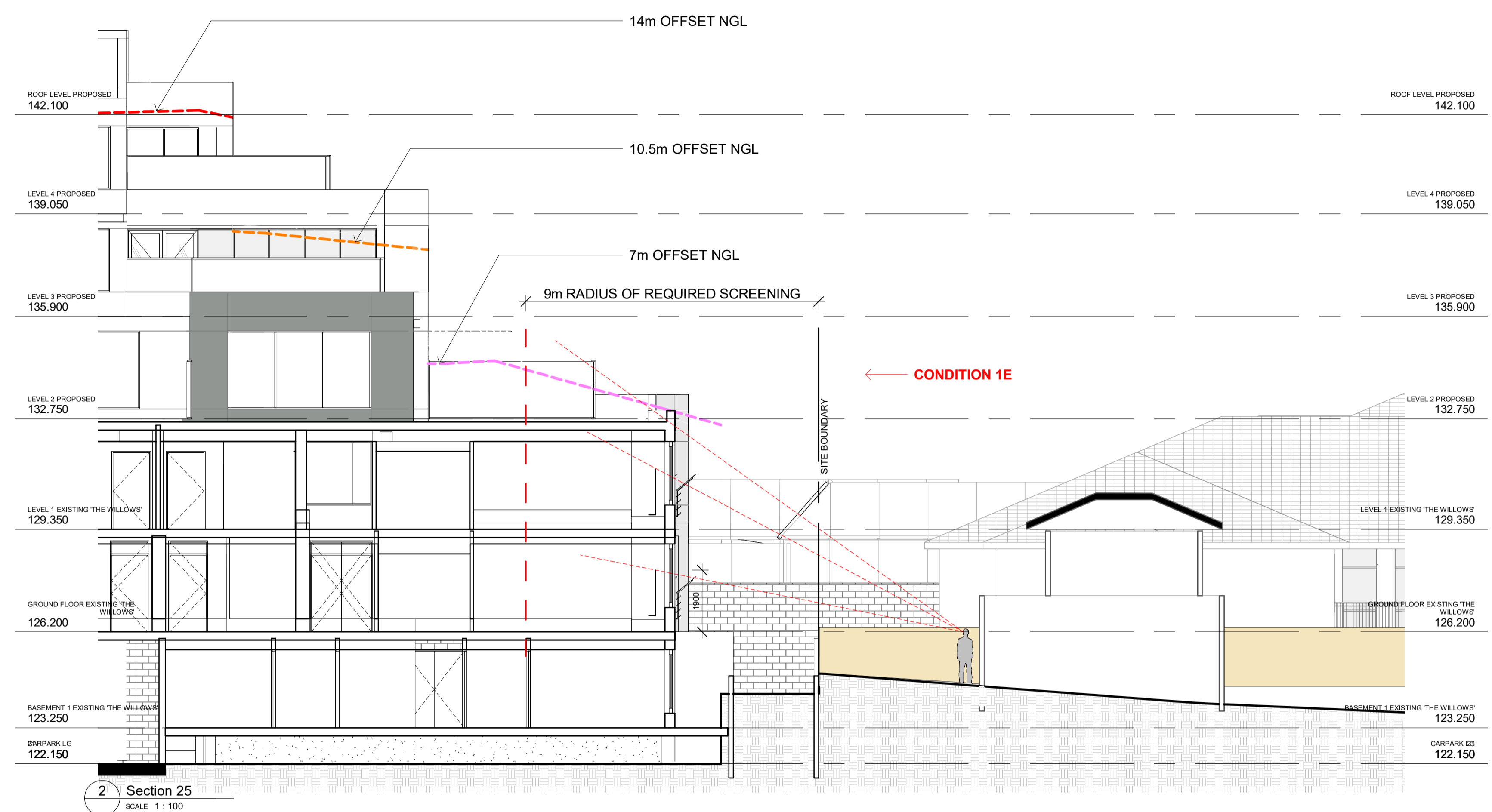
Scale

As indicated@A1

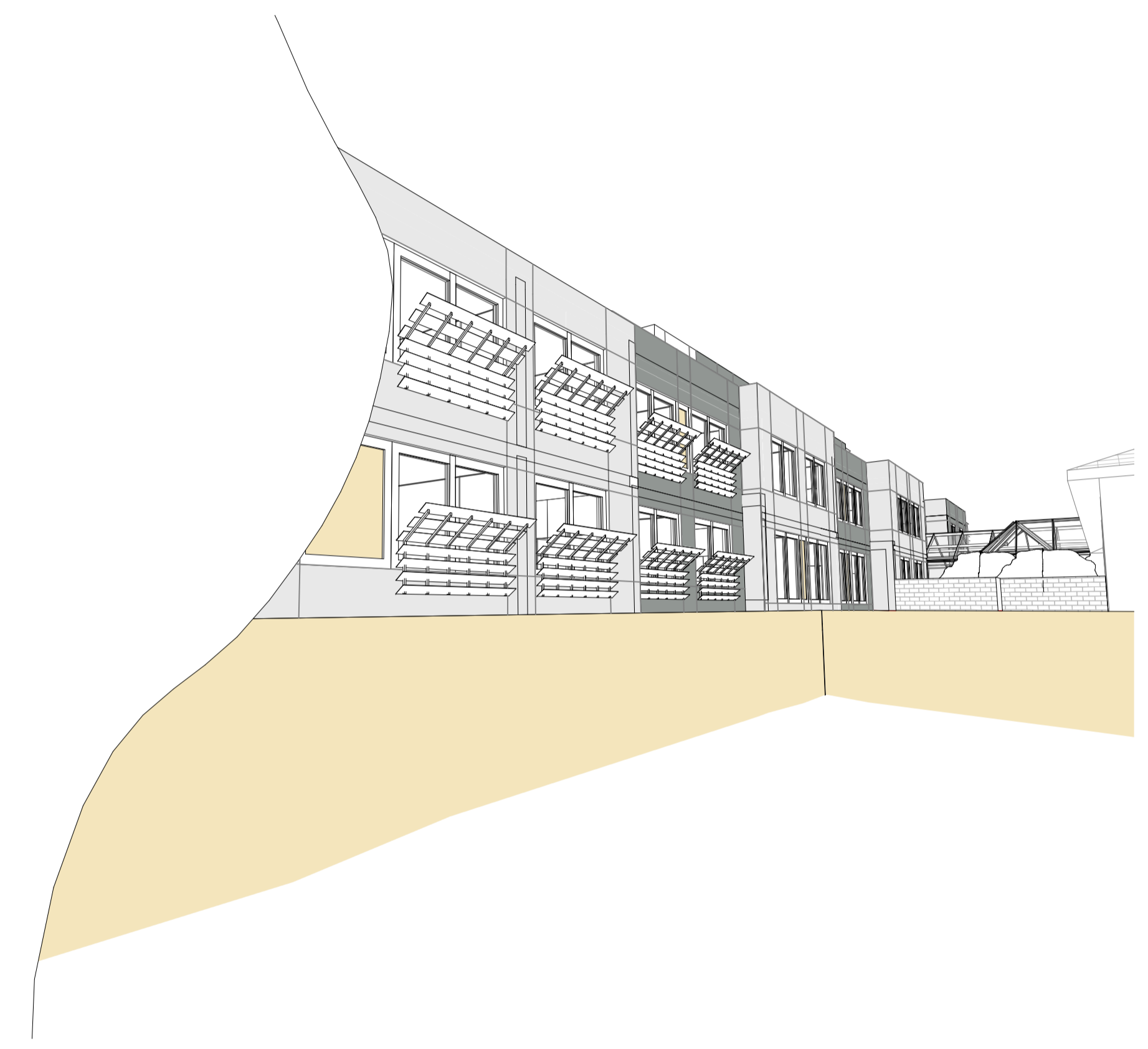
Date

12/04/2019

16052



2 Section 25  
 SCALE 1:100



1 CONCEPTUAL 3D View 22  
 SCALE

No.	Date	Notes
A	10/07/2018	ENDORSEMENT ISSUE

16/05/2019 4:45:04 PM